

**CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD
SAN DIEGO REGION**

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Clean Water Act Section 401 Water Quality Certification
and Waste Discharge Requirements
for Discharge of Dredged and/or Fill Materials

PROJECT: Castlerock Residential Development
Certification Number R9-2014-0121
WDID: 9 000002766

Reg. Meas. ID: 398422 Place ID: 809792 Party ID: 548716 Person ID: 548717
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APPLICANT: Pardee Homes
13400 Sabre Springs Parkway, Suite 200
San Diego, CA 92128

ACTION:

<input type="checkbox"/> Order for Low Impact Certification	<input type="checkbox"/> Order for Denial of Certification
<input checked="" type="checkbox"/> Order for Technically-conditioned Certification	<input type="checkbox"/> Enrollment in Isolated Waters Order No. 2004-004-DWQ
<input checked="" type="checkbox"/> Enrollment in SWRCB GWDR Order No. 2003-017-DWQ	

PROJECT DESCRIPTION

An application dated September 26, 2014 was submitted by Pardee Homes (hereinafter Applicant), for Water Quality Certification pursuant to section 401 of the Clean Water Act (United States Code (USC) Title 33, section 1341) for the proposed Castlerock Residential Development Project (Project). The California Regional Water Quality Control Board, San Diego Region (San Diego Water Board) deemed the application to be complete on Date. The Applicant proposes to discharge dredged or fill material to waters of the United States and/or State associated with construction activity at the Project site. The Applicant has also applied for a Clean Water Act section 404 permit from the United States Army Corps of Engineers for the Project (USACE File No. SPL-2004-00994-MBS).

The Project is located within the Cities of Santee and San Diego, San Diego County, California in the East Elliott Community Planning Area on the north side of Mast Boulevard between Medina Drive and West Hills Parkway. The Project center reading is located at latitude 32.858674 and longitude -117.011223. The Applicant has paid all required application fees for this Certification in the amount of \$73,170.00. On an annual basis, the Applicant shall also pay all active discharge fees and post discharge monitoring fees, as appropriate. On August 14, 2015, the San Diego Water Board provided public notice of the Project application pursuant to California Code of Regulations, title 23, section 3858 by posting information describing the Project on the San Diego Water Board's web site and providing a period of twenty-one days for public review and comment. No comments were received.

The Applicant proposes to develop approximately 112.1 acres for single- and multi-family residential homes, a public park and dedicated open space on an approximately 203.6 acre site.

The Project will convert approximately 40.7 acres of pervious ground cover to impervious surfaces. Runoff leaving the developed Project area would be significantly greater in volume, velocity, peak flow rate, and duration than pre-development runoff from the same area without mitigation. Post-construction best management practices (BMPs) to manage and control the effects of these runoff increases will consist of low impact development BMPs, source control BMPs, biofiltration, bio-retention basins, media filter filtration, underground detention systems and flow control devices. These BMPs will be designed, constructed, and maintained to meet City of San Diego's Low Impact Development (LID) Capture Volume and hydromodification treatment requirements.

The Project application includes a description of the design objective, operation, and degree of treatment expected to be attained from equipment, facilities, or activities (including construction and post-construction BMPs) to treat waste and reduce runoff or other effluents which may be discharged. Compliance with the Certification conditions will help ensure that construction and post-construction discharges from the Project will not cause on-site or off-site downstream erosion, damage to downstream properties, or otherwise damage stream habitats in violation of water quality standards in the *Water Quality Control Plan for the San Diego Basin (9)* (Basin Plan).

Project construction will permanently impact 0.29 acre (5,238 linear feet) of stream channel and 0.10 acre of wetland waters of the United States and/or State. The Applicant reports that the Project purpose cannot be practically accomplished in a manner which would avoid or result in less adverse impacts to aquatic resources considering all potential practicable alternatives, such as the potential for alternate available locations, designs, reductions in size, configuration or density.

The Applicant reports that compensatory mitigation for the permanent loss of 0.39 acre of jurisdictional waters will be achieved through the establishment of 0.46 acre of stream channel and 0.77 acre of wetland waters of the United States and/or State. All waters of the United States and/or State receiving temporary discharges of fill material will be restored upon removal of the fill. Mitigation for discharges of fill material to waters of the United States and/or State will be completed by the Applicant at Castlerock Residential Development Site located in the San Diego hydrologic sub-area (HSA 907.12) at a minimum compensation ratio of 1.6:1 (area mitigated:area impacted) for stream channel impacts and 7.7:1 for wetland impacts.

Detailed written specifications and work descriptions for the compensatory mitigation project including, but not limited to, the geographic boundaries of the project, timing, sequence, monitoring, maintenance, ecological success performance standards and provisions for long-term management and protection of the mitigation areas are described in the following three mitigation plans:

- Non-Wetland Waters of the U.S. Mitigation and Monitoring Plan for the Castlerock Development Project (Non-Wetland Waters Mitigation Plan), dated May 2016;
- Jurisdictional Waters Compensatory Mitigation and Monitoring Plan for the Castlerock Project (Wetland Mitigation Plan), dated May 20, 2016; and
- San Diego Fairy Shrimp/Vernal Pool Restoration and Enhancement Plan for the Castlerock Project and Vernal Pool Management Plan for the Castlerock Project (Vernal Pool Restoration Plan), both dated May 16, 2016.

San Diego Water Board acceptance of the Mitigation Plans applies only to the Project described in this Certification and must not be construed as approval for other current or future projects that are planning to use additional acreage at the site for mitigation. The Mitigation Plan is incorporated in this Certification by reference as if set forth herein. The Mitigation Plan provides for implementation of compensatory mitigation which offsets adverse water quality impacts attributed to the Project in a manner that protects and restores the abundance, types and conditions of aquatic resources and supports their beneficial uses. Implementation of the Mitigation Plan will reduce significant environmental impacts to resources within the San Diego Water Board's purview to a less than significant level. Based on all of these considerations, the Mitigation Plan will adequately compensate for the loss of beneficial uses and habitat within waters of the United States and/or State attributable to the Project.

Additional Project details are provided in Attachments 2 through 5 of this Certification.

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Attachments:

- 1. Definitions**
- 2. Project Location Maps**
- 3. Project Site Plans**
- 4. Mitigation Figures**
- 5. CEQA Mitigation Monitoring and Reporting Program**

I. STANDARD CONDITIONS

Pursuant to section 3860 of title 23 of the California Code of Regulations, the following three standard conditions apply to all water quality certification actions:

- A. This Certification action is subject to modification or revocation upon administrative or judicial review, including review and amendment pursuant to section 13330 of the Water Code and chapter 28, article 6 (commencing with title 23, section 3867), of the California Code of Regulations.
- B. This Certification action is not intended and shall not be construed to apply to any discharge from any activity involving a hydroelectric facility and requiring a Federal Energy Regulatory Commission (FERC) license or an amendment to a FERC license unless the pertinent Certification application was filed pursuant to California Code of Regulations title 23, section 3855 subdivision (b), and that application specifically identified that a FERC license or amendment to a FERC license for a hydroelectric facility was being sought.
- C. This Certification action is conditioned upon total payment of any fee required under title 23, chapter 28 (commencing with section 3830) of California Code of Regulations and owed by the applicant.

II. GENERAL CONDITIONS

- A. **Term of Certification.** Water Quality Certification No. R9-2014-0121 (Certification) shall expire upon a) the expiration or retraction of the Clean Water Act section 404 (33 USC Title 33, section 1344) permit issued by the U.S. Army Corps of Engineers for this Project, or b) five (5) years from the date of issuance of this Certification, whichever occurs first.
- B. **Duty to Comply.** The Applicant must comply with all conditions and requirements of this Certification. Any Certification noncompliance constitutes a violation of the Water Code and is grounds for enforcement action or Certification termination, revocation and reissuance, or modification.
- C. **General Waste Discharge Requirements.** The requirements of this Certification are enforceable through Water Quality Order No. 2003-0017-DWQ, *Statewide General Waste Discharge Requirements for Discharges of Dredged or Fill Material that have Received State Water Quality Certification* (Water Quality Order No. 2003-0017-DWQ). This provision shall apply irrespective of whether a) the federal permit for which the Certification was obtained is subsequently retracted or is expired, or b) the Certification is expired. Water Quality Order No. 2003-0017-DWQ is accessible at:

http://www.waterboards.ca.gov/water_issues/programs/cwa401/docs/generalorders/gowdr401regulated_projects.pdf.

- D. Project Conformance with Application.** All water quality protection measures and BMPs described in the application and supplemental information for water quality certification are incorporated by reference into this Certification as if fully stated herein. Notwithstanding any more specific conditions in this Certification, the Applicant shall construct, implement and comply with all water quality protection measures and BMPs described in the application and supplemental information. The conditions within this Certification shall supersede conflicting provisions within the application and supplemental information submitted as part of this Certification action.
- E. Project Conformance with Water Quality Control Plans or Policies.** Notwithstanding any more specific conditions in this Certification, the Project shall be constructed in a manner consistent with the Basin Plan and any other applicable water quality control plans or policies adopted or approved pursuant to the Porter Cologne Water Quality Act (Division 7, commencing with Water Code Section 13000) or section 303 of the Clean Water Act (33 USC section 1313). The Basin Plan is accessible at:
- http://www.waterboards.ca.gov/sandiego/water_issues/programs/basin_plan/index.shtml
- F. Project Modification.** The Applicant must submit any changes to the Project, including Project operation, which would have a significant or material effect on the findings, conclusions, or conditions of this Certification, to the San Diego Water Board for prior review and written approval. If the San Diego Water Board is not notified of a significant change to the Project, it will be considered a violation of this Certification.
- G. Certification Distribution Posting.** During Project construction, the Applicant must maintain a copy of this Certification at the Project site. This Certification must be available at all times to site personnel and agencies. A copy of this Certification shall also be provided to any contractor or subcontractor performing construction work, and the copy shall remain in their possession at the Project site.
- H. Inspection and Entry.** The Applicant must allow the San Diego Water Board or the State Water Resources Control Board, and/or their authorized representative(s) (including an authorized contractor acting as their representative), upon the presentation of credentials and other documents as may be required under law, to:
1. Enter upon the Project or Compensatory Mitigation site(s) premises where a regulated facility or activity is located or conducted, or where records must be kept under the conditions of this Certification;
 2. Have access to and copy, at reasonable times, any records that must be kept under the conditions of this Certification;
 3. Inspect, at reasonable times, any facilities, equipment (including monitoring and control equipment), practices, or operations regulated or required under this Certification; and

4. Sample or monitor, at reasonable times, for the purposes of assuring Certification compliance, or as otherwise authorized by the Clean Water Act or Water Code, any substances or parameters at any location.

I. **Enforcement Notification.** In the event of any violation or threatened violation of the conditions of this Certification, the violation or threatened violation shall be subject to any remedies, penalties, process or sanctions as provided for under State law. For purposes of section 401(d) of the Clean Water Act, the applicability of any State law authorizing remedies, penalties, process or sanctions for the violation or threatened violation constitutes a limitation necessary to assure compliance with the water quality standards and other pertinent requirements incorporated into this Certification.

J. **Certification Actions.** This Certification may be modified, revoked and reissued, or terminated for cause including but not limited to the following:

1. Violation of any term or condition of this Certification;
2. Monitoring results indicate that continued Project activities could violate water quality objectives or impair the beneficial uses of Sycamore Creek, San Diego River, or their tributaries;
3. Obtaining this Certification by misrepresentation or failure to disclose fully all relevant facts;
4. A change in any condition that requires either a temporary or permanent reduction or elimination of the authorized discharge; and
5. Incorporation of any new or revised water quality standards and implementation plans adopted or approved pursuant to the Porter-Cologne Water Quality Control Act or section 303 of the Clean Water Act.

The filing of a request by the Applicant for modification, revocation and reissuance, or termination, or a notification of planned changes or anticipated noncompliance does not stay any Certification condition.

K. **Duty to Provide Information.** The Applicant shall furnish to the San Diego Water Board, within a reasonable time, any information which the San Diego Water Board may request to determine whether cause exists for modifying, revoking and reissuing, or terminating this Certification or to determine compliance with this Certification.

L. **Property Rights.** This Certification does not convey any property rights of any sort, or any exclusive privilege.

M. **Petitions.** Any person aggrieved by this action of the San Diego Water Board may petition the State Water Resources Control Board (State Water Board) to review the action in accordance with the California Code of Regulations, title 23, sections 3867 and following. The State Water Board must receive the petition by 5:00 p.m., 30 days after the date of this Certification. Copies of the law and regulations applicable to filing

petitions may be found on the Internet at:
http://www.waterboards.ca.gov/public_notices/petitions/water_quality or will be provided upon request.

III. CONSTRUCTION BEST MANAGEMENT PRACTICES

- A. **Approvals to Commence Construction.** The Applicant shall not commence Project construction until all necessary federal, State, and local approvals are obtained.
- B. **Personnel Education.** Prior to the start of the Project, and annually thereafter, the Applicant must educate all personnel on the requirements in this Certification, pollution prevention measures, spill response measures, and BMP implementation and maintenance measures.
- C. **Spill Containment Materials.** The Applicant must, at all times, maintain appropriate types and sufficient quantities of materials on-site to contain any spill or inadvertent release of materials that may cause a condition of pollution or nuisance if the materials reach waters of the United States and/or State.
- D. **General Construction Storm Water Permit.** Prior to start of Project construction, the Applicant must, as applicable, obtain coverage under, and comply with, the requirements of State Water Resources Control Board Water Quality Order No. 2009-0009-DWQ, the *General Permit for Storm Water Discharges Associated with Construction and Land Disturbance Activity*, (General Construction Storm Water Permit) and any reissuance. If Project construction activities do not require coverage under the General Construction Storm Water Permit, the Applicant must develop and implement a runoff management plan (or equivalent construction BMP plan) to prevent the discharge of sediment and other pollutants during construction activities.
- E. **Waste Management.** The Applicant must properly manage, store, treat, and dispose of wastes in accordance with applicable federal, state, and local laws and regulations. Waste management shall be implemented to avoid or minimize exposure of wastes to precipitation or storm water runoff. The storage, handling, treatment, or disposal of waste shall not create conditions of pollution, contamination or nuisance as defined in Water Code section 13050. Upon Project completion, all Project generated debris, building materials, excess material, waste, and trash shall be removed from the Project site(s) for disposal at an authorized landfill or other disposal site in compliance with federal, state and local laws and regulations.
- F. **Waste Management.** Except for a discharge permitted under this Certification, the dumping, deposition, or discharge of trash, rubbish, unset cement or asphalt, concrete, grout, damaged concrete or asphalt, concrete or asphalt spoils, wash water, organic or earthen material, steel, sawdust or other construction debris waste from Project activities directly into waters of the United States and or State, or adjacent to such waters in any manner which may permit its being transported into the waters, is prohibited.

- G. **Downstream Erosion.** Discharges of concentrated flow during construction or after Project completion must not cause downstream erosion or damage to properties or stream habitat.
- H. **Construction Equipment.** All equipment must be washed prior to transport to the Project site and must be free of sediment, debris, and foreign matter. All equipment used in direct contact with surface water shall be steam cleaned prior to use. All equipment using gas, oil, hydraulic fluid, or other petroleum products shall be inspected for leaks prior to use and shall be monitored for leakage. Stationary equipment (e.g., motors, pumps, generator, etc.) shall be positioned over drip pans or other types of containment.
- I. **Process Water.** Water containing mud, silt, or other pollutants from equipment washing or other activities, must not be discharged to waters of the United States and/or State or placed in locations that may be subjected to storm water runoff flows. Pollutants discharged to areas within a stream diversion must be removed at the end of each work day or sooner if rain is predicted.
- J. **Surface Water Diversion.** All surface waters, including ponded waters, must be diverted away from areas of active grading, construction, excavation, vegetation removal, and/or any other activity which may result in a discharge to the receiving water. Diversion activities must not result in the degradation of beneficial uses or exceedance of the receiving water quality objectives. Any temporary dam or other artificial obstruction constructed must only be built from materials such as clean gravel which will cause little or no siltation. Normal flows must be restored to the affected stream immediately upon completion of work at that location.
- K. **Re-vegetation and Stabilization.** All areas that have 14 or more days of inactivity must be stabilized within 14 days of the last activity. The Applicant shall implement and maintain BMPs to prevent erosion of the rough graded areas. After completion of grading, all areas must be re-vegetated with native species appropriate for the area. The re-vegetation palette must not contain any plants listed on the California Invasive Plant Council Invasive Plant Inventory, which can be accessed at <http://www.cal-ipc.org/ip/inventory/>.
- L. **Hazardous Materials.** Except as authorized by this Certification, substances hazardous to aquatic life including, but not limited to, petroleum products, unused cement/concrete, asphalt, and coating materials, must be prevented from contaminating the soil and/or entering waters of the United States and/or State. BMPs must be implemented to prevent such discharges during each Project activity involving hazardous materials.
- M. **Vegetation Removal.** Removal of vegetation must occur by hand, mechanically, or through application of United States Environmental Protection Agency (USEPA) approved herbicides deployed using applicable BMPs to minimize adverse effects to beneficial uses of waters of the United States and/or State. Discharges related to the application of aquatic pesticides within waters of the United States must be done in compliance with State Water Resources Control Board Water Quality Order No. 2004-

0009-DWQ, the *Statewide General National Pollution Discharge Elimination System Permit for the Discharge of Aquatic Weed Control in Waters of the United States*, and any subsequent reissuance as applicable.

- N. **Limits of Disturbance.** The Applicant shall clearly define the limits of Project disturbance to waters of the United States and/or State using highly visible markers such as flag markers, construction fencing, or silt barriers prior to commencement of Project construction activities within those areas.
- O. **On-site Qualified Biologist.** The Applicant shall designate an on-site qualified biologist to monitor Project construction activities within or adjacent to waters of the United States and/or State to ensure compliance with the Certification requirements. The biologist shall be given the authority to stop all work on-site if a violation of this Certification occurs or has the potential to occur. Records and field notes of the biologist's activities shall be kept on-site and made available for review upon request by the San Diego Water Board.
- P. **Beneficial Use Protection.** The Applicant must take all necessary measures to protect the beneficial uses of waters of Sycamore Creek, San Diego River, and their tributaries. This Certification requires compliance with all applicable requirements of the Basin Plan. If at any time, an unauthorized discharge to surface waters (including rivers or streams) occurs or monitoring indicates that the Project is violating, or threatens to violate, water quality objectives, the associated Project activities shall cease immediately and the San Diego Water Board shall be notified in accordance with Notification Requirement VII.A of this Certification. Associated Project activities may not resume without approval from the San Diego Water Board.

IV. POST-CONSTRUCTION BEST MANAGEMENT PRACTICES

- A. **Post-Construction Discharges.** The Applicant shall not allow post-construction discharges from the Project site to cause or contribute to on-site or off-site erosion or damage to properties or stream habitats.
- B. **Storm Drain Inlets.** All storm drain inlet structures within the Project boundaries must be stamped or stenciled (or equivalent) with appropriate language prohibiting non-storm water discharges.
- C. **Post-Construction BMP Design.** The Project must be designed to comply with the requirements for priority development projects in section E.3 of the Regional MS4 Permit Order R9-2013-0001, *National Pollutant Discharge Elimination Systems Permit and Waste Discharge Requirements for Discharges of Urban Runoff from the MS4s Draining the Watersheds within the San Diego Region* (Regional MS4 Permit) as well as the most current BMP Design Manual for the City of San Diego. Where conflict exists between the referenced documents the most stringent requirements shall apply.

D. Post-Construction BMP Maintenance. The post construction BMPs must be designed, constructed, and maintained in accordance with the most recent California Storm Water Quality Association (CASQA)¹ guidance. The Applicant shall:

1. No less than two times per year, assess the performance of the BMPs to ensure protection of the receiving waters and identify any necessary corrective measures;
2. Perform inspections of BMPs, at the beginning of the wet season no later than October 1 and the end of the wet season no later than April 1, for standing water, slope stability, sediment accumulation, trash and debris, and presence of burrows;
3. Regularly perform preventative maintenance of BMPs, including removal of accumulated trash and debris, as needed to ensure proper functioning of the BMPs;
4. Identify and promptly repair damage to BMPs; and
5. Maintain a log documenting all BMP inspections and maintenance activities. The log shall be made available to the San Diego Water Board upon request.

V. PROJECT IMPACTS AND COMPENSATORY MITIGATION

A. Project Impact Avoidance and Minimization. The Project must avoid and minimize adverse impacts to waters of the United States and/or State to the maximum extent practicable.

B. Project Impacts and Compensatory Mitigation. Unavoidable Project impacts to Sycamore Creek, San Diego River, and their tributaries within the San Diego Watershed must not exceed the type and magnitude of impacts described in the table below. At a minimum, compensatory mitigation required to offset unavoidable temporary and permanent Project impacts to waters of the United States and/or State must be achieved as described in the table below:

¹ California Storm Water Quality Association (*California Storm Water BMP Handbook, New Development and Redevelopment 2003*), available on-line at: <http://www.cabmphandbooks.org/> [Accessed on January 15, 2012]

	Impacts (acres)	Impacts (linear ft.)	Mitigation for Impacts (acres)	Mitigation Ratio (area mitigated :area impacted)	Mitigation for Impacts (linear ft.)	Mitigation Ratio (linear feet mitigated :linear feet impacted)
Permanent Impacts						
Stream Channel	0.29 ¹	5,238 ¹	0.43 Establishment ²	1.5:1	5,800 Establishment ²	1.1:1
			0.03 Establishment ³	0.1:1	235 Establishment ³	0.04:1
Wetland	0.09 ⁴	NA	0.74 Establishment ³	8.2:1	NA	NA
	0.01 ⁴	NA	0.03 Establishment ⁵	3:1	NA	NA
Temporary Impacts⁶						
Streambed and Riparian	0.03 ⁷	182 ⁷	NA	NA	NA	NA

NA = Not applicable.

1. Permanent impacts associated with fill of 0.27 acre (4,592 linear feet) of non-wetland waters of the U.S. and/or State and 0.02 acre (646 linear feet) of non-wetland waters of the State only.
2. On-site establishment of non-wetland ephemeral stream channel waters of the State located along the periphery of the development.
3. On-site establishment of 0.03 acre (235 linear feet) of stream channel and 0.74 of wetland waters of the U.S./State in the Quail Canyon Creek drainage.
4. Permanent impacts associated with the fill of 0.09 acre of wetland waters of the U.S and/or State and 0.01 acre of disturbed seasonal depressions providing fairy shrimp habitat as waters of the State only.
5. On-site vernal pool establishment that includes the creation of 0.03 acre (1,260 square feet) of vernal pool surface area on a 1.4 acre Vernal Pool Restoration Area adjacent to the existing vernal pool complex.
6. All areas of temporary impacts must be restored to pre-project contours and re-vegetated with native species.
7. Temporary impacts associated with site grading.

C. Compensatory Mitigation Plan Implementation. The Applicant must fully and completely implement the Mitigation Plan; any deviations from, or revisions to, the Mitigation Plan must be pre-approved by the San Diego Water Board.

D. Performance Standards. Compensatory mitigation required under this Certification shall be considered achieved once it has met the ecological success performance standards contained in the Wetland Mitigation Plan, the Non-Wetland Waters Mitigation Plan, and the Vernal Pool Restoration Plan to the satisfaction of the San Diego Water Board.

- E. Compensatory Mitigation Site Design.** The compensatory mitigation site(s) shall be designed to be self-sustaining once performance standards have been achieved. This includes minimization of active engineering features (e.g., pumps) and appropriate siting to ensure that natural hydrology and landscape context support long-term sustainability in conformance with the following conditions:
1. The channels through the mitigation sites shall be characterized by equilibrium conditions, with no evidence of severe aggradation or degradation;
 2. As viewed along cross-sections, the channel and buffer area(s) shall have a variety of slopes, or elevations, that are characterized by different moisture gradients. Each sub-slope shall contain physical patch types or features that contribute to irregularity in height, edges, or surface and to complex topography overall; and
 3. The mitigation sites shall have a well-developed plant community, appropriate for each aquatic resource, characterized by a high degree of horizontal and vertical interspersions among plant zones and layers.
- F. Temporary Project Impact Areas.** The Applicant must restore all areas of temporary impacts and all other areas of temporary disturbance which could result in a discharge or a threatened discharge of pollutants to waters of the United States and/or State. Restoration must include grading of disturbed areas to pre-project contours and re-vegetation with native species. The Applicant must implement all necessary BMPs to control erosion and runoff from areas associated with the Project.
- G. Long-Term Management and Maintenance.** The compensatory mitigation site(s) must be managed, protected, and maintained, in perpetuity, in conformance with the long-term management plans and the final ecological success performance standards identified in the Wetland Mitigation Plan, the Non-Wetland Waters Mitigation Plan, and the Vernal Pool Restoration Plan. The aquatic habitats, riparian areas, buffers and uplands that comprise the mitigation site(s) must be protected in perpetuity from land-use and maintenance activities that may threaten water quality or beneficial uses within the mitigation area(s) in a manner consistent with the following requirements:
1. Any maintenance activities on the mitigation site(s) that do not contribute to the success of the mitigation site(s) and enhancement of beneficial uses and ecological functions and services are prohibited;
 2. Maintenance activities must be limited to the removal of trash and debris, removal of exotic plant species, replacement of dead native plant species, and remedial measures deemed necessary for the success of the compensatory mitigation project;
 3. The Mitigation site(s) must be maintained, in perpetuity, free of perennial exotic plant species including, but not limited to, pampas grass, giant reed, tamarisk, sweet fennel, tree tobacco, castor bean, and pepper tree. Annual exotic plant species must not occupy more than 5 percent of the mitigation site(s); and

4. If at any time a catastrophic natural event (e.g., fire, flood) causes damage(s) to the mitigation site(s) or other deficiencies in the compensatory mitigation project, the Applicant must take prompt and appropriate action to repair the damage(s) including replanting the affected area(s) and address any other deficiencies. The San Diego Water Board may require additional monitoring by the Applicant to assess how the compensatory mitigation site(s) or project is responding to a catastrophic natural event.

H. Timing of Mitigation Site Construction. The construction of proposed mitigation must be concurrent with project grading and completed no later than 9 months following the start of Project construction. Delays in implementing mitigation must be compensated for by an increased mitigation implementation of 10% of the cumulative compensatory mitigation for each month of delay.

I. Mitigation Site(s) Preservation Mechanism. **Within 90 days from the issuance of this Certification**, the Applicant must provide the San Diego Water Board with a draft preservation mechanism (e.g. deed restriction, conservation easement, etc.) that will protect all mitigation areas and their buffers in perpetuity. **Within 12 months of the start of Project construction**, the Applicant must submit proof of a completed final preservation mechanism that will protect all mitigation areas and their buffers in perpetuity. The conservation easement, deed restriction, or other legal limitation on the mitigation properties must be adequate to demonstrate that the sites will be maintained without future development or encroachment on the sites which could otherwise reduce the functions and values of the sites for the variety of beneficial uses of waters of the United States and/ or State that it supports. The legal limitation must prohibit, without exception, all residential, commercial, industrial, institutional, and transportation development, and any other infrastructure development that would not maintain or enhance the wetland and streambed functions and values of the sites. The preservation mechanism must clearly prohibit activities that would result in soil disturbance or vegetation removal, other than the removal of non-native vegetation. Other infrastructure development to be prohibited includes, but is not limited to, additional utility lines, maintenance roads, and areas of maintained landscaping for recreation.

VI. MONITORING AND REPORTING REQUIREMENTS

- A. Representative Monitoring.** Samples and measurements taken for the purpose of monitoring under this Certification shall be representative of the monitored activity.
- B. Monitoring Reports.** Monitoring results shall be reported to the San Diego Water Board at the intervals specified in section VI of this Certification.
- C. Monitoring and Reporting Revisions.** The San Diego Water Board may make revisions to the monitoring program at any time during the term of this Certification and may reduce or increase the number of parameters to be monitored, locations monitored, the frequency of monitoring, or the number and size of samples collected.

D. Records of Monitoring Information. Records of monitoring information shall include:

1. The date, exact place, and time of sampling or measurements;
2. The individual(s) who performed the sampling or measurements;
3. The date(s) analyses were performed;
4. The individual(s) who performed the analyses;
5. The analytical techniques or methods used; and
6. The results of such analyses.

E. California Rapid Assessment Method. California Rapid Assessment Method (CRAM)² monitoring must be performed to assess the current and potential ecological conditions (ecological integrity) of the impact site and proposed compensatory mitigation sites. These conditions reflect the overall level of ecological function of an aquatic resource. Prior to initiating Project construction, the Applicant shall develop a monitoring plan to implement California Rapid Assessment Method (CRAM) monitoring. The Applicant must conduct a quantitative function-based assessment of the health of wetland/streambed habitat, using the appropriate CRAM module for each aquatic resource type, to establish pre-project baseline conditions, set CRAM success criteria, and assess the mitigation site(s) progress towards meeting the success criteria. CRAM monitoring must be conducted prior to the start of Project construction authorized under this Certification and at years 3 and 5 for the non-wetland waters mitigation and wetland waters mitigation sites, and years 3, 5, and 7 for the vernal pool mitigation site following construction completion. The annual CRAM monitoring results shall be submitted with the Annual Project Progress Report. An evaluation, interpretation, and tabulation of all CRAM assessment data shall be submitted with the Final Project Completion Report.

F. Jurisdictional Delineation. In order to demonstrate that the Project has met the compensatory mitigation required in section V.B, the Applicant shall perform a jurisdictional delineation of the wetland mitigation site. The delineation must be performed using the methodology set forth in the 1987 *U.S. Army Corps of Engineers Wetland Delineation Manual* and the 2008 *Regional Supplement to the U.S. Army Corps of Engineers Wetland Delineation Manual: Arid West Region* by the end of year 5. Using the jurisdictional delineation, the Applicant shall demonstrate that 0.77 acre of has been established and the three wetland indicators (wetland vegetation, soils, and hydrology) are present. The jurisdictional delineation results must be submitted with the respective Annual Project Progress Report.

² The most recent versions of the California Rapid Assessment Method (CRAM) for Wetlands and additional information regarding CRAM can be accessed at <http://www.cramwetlands.org/>

- G. Geographic Information System Data.** The Applicant must submit Geographic Information System (GIS) shape files of the Project impact sites within 30 days of the start of project construction and GIS shape files of the Project mitigation sites within 30 days of mitigation installation. All impact and mitigation site shape files must be polygons. Two GPS readings (points) must be taken on each line of the polygon and the polygon must have a minimum of 10 points. GIS metadata must also be submitted.
- H. Annual Project Progress Reports.** The Applicant must submit annual Project progress reports describing status of BMP implementation, compensatory mitigation, and compliance with all requirements of this Certification to the San Diego Water Board prior to **March 1** of each year following the issuance of this Certification, until the Project has reached completion. The Annual Project Progress Reports must contain compensatory mitigation monitoring information sufficient to demonstrate how the compensatory mitigation project is progressing towards accomplishing its objectives and meeting its performance standards. Annual Project Progress Reports must be submitted even if Project construction has not begun. The monitoring period for each Annual Project Progress Report shall be January 1st through December 31st of each year. Annual Project Progress Reports must include, at a minimum, the following:
1. **Project Status and Compliance Reporting.** The Annual Project Progress Report must include the following Project status and compliance information:
 - a. The names, qualifications, and affiliations of the persons contributing to the report;
 - b. The status, progress, and anticipated schedule for completion of Project construction activities including the installation and operational status of best management practices project features for erosion and storm water quality treatment;
 - c. A description of Project construction delays encountered or anticipated that may affect the schedule for construction completion; and
 - d. A description of each incident of noncompliance during the annual monitoring period and its cause, the period of the noncompliance including exact dates and times, and if the noncompliance has not been corrected, the anticipated time it is expected to continue; and the steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance.
 2. **Compensatory Mitigation Monitoring Reporting.** Mitigation monitoring information must be submitted as part of the Annual Project Progress Report for a period of not less than 5 for non-wetland waters mitigation and wetland waters mitigation and not less than 7 years for vernal pool mitigation, sufficient to demonstrate that the compensatory mitigation project has accomplished its objectives and met ecological success performance standards contained in the Non-wetland Waters Mitigation Plan, the Wetland Mitigation Plan, and the Vernal Pool Restoration Plan, respectively. Following Project implementation the San Diego Water Board may reduce or waive compensatory mitigation monitoring requirements

upon a determination that performance standards have been achieved. Conversely the San Diego Water Board may extend the monitoring period beyond five years upon a determination that the performance standards have not been met or the compensatory mitigation project is not on track to meet them. The Annual Project Progress Report must include the following compensatory mitigation monitoring information:

- a. Names, qualifications, and affiliations of the persons contributing to the report;
- b. An evaluation, interpretation, and tabulation of the parameters being monitored, including the results of the Mitigation Plan monitoring program, and all quantitative and qualitative data collected in the field;
- c. A description of the following mitigation site(s) characteristics:
 - i. Detritus cover;
 - ii. General topographic complexity;
 - iii. General upstream and downstream habitat and hydrologic connectivity; and
 - iv. Source of hydrology
- d. Monitoring data interpretations and conclusions as to how the compensatory mitigation project(s) is progressing towards meeting performance standards and whether the performance standards have been met;
- e. A description of the progress toward implementing a plan to manage the compensatory mitigation project after performance standards have been achieved to ensure the long term sustainability of the resource in perpetuity, including a discussion of long term financing mechanisms, the party responsible for long term management, and a timetable for future steps;
- f. Qualitative and quantitative comparisons of current mitigation conditions with pre-construction conditions and previous mitigation monitoring results;
- g. Photo documentation, including all areas of permanent and temporary impact, prior to and after mitigation site construction for all mitigation sites. Photo documentation must be conducted in accordance with guidelines posted at http://www.waterboards.ca.gov/sandiego/water_issues/programs/401_certification/docs/401c/401PhotoDocRB9V713.pdf. In addition, photo documentation must include Geographic Positioning System (GPS) coordinates for each of the photo points referenced;
- h. The results of the California Rapid Assessment Method (CRAM) monitoring required under section VI.E of this Certification;
- i. The results of the jurisdictional wetland delineations required under section VI.F of this Certification;

- j. As-built drawings of the compensatory mitigation project site(s), no bigger than 11"X17"; and
 - k. A survey report documenting boundaries of the compensatory mitigation site(s).
- I. **Final Project Completion Report.** The Applicant must submit a Final Project Completion Report to the San Diego Water Board **within 30 days of completion of the Project.** The final report must include the following information:
- 1. Date of construction initiation;
 - 2. Date of construction completion;
 - 3. BMP installation and operational status for the Project;
 - 4. As-built drawings of the Project, no bigger than 11"X17";
 - 5. Photo documentation of implemented post-construction BMPs and all areas of permanent and temporary impacts, prior to and after project construction. Photo documentation must be conducted in accordance with guidelines posted at http://www.waterboards.ca.gov/sandiego/water_issues/programs/401_certification/docs/401c/401PhotoDocRB9V713.pdf. In addition, photo documentation must include Global Positioning System (GPS) coordinates for each of the photo points referenced; and
 - 6. An evaluation, interpretation, and tabulation of all California Rapid Assessment Method (CRAM) assessment data collected throughout the term of Project construction in accordance with section VI.E of this Certification.
- J. **Reporting Authority.** The submittal of information required under this Certification, or in response to a suspected violation of any condition of this Certification, is required pursuant to Water Code section 13267 and 13383. Civil liability may be administratively imposed by the San Diego Water Board for failure to submit information pursuant to Water Code sections 13268 or 13385.
- K. **Electronic Document Submittal.** The Applicant must submit all reports and information required under this Certification in electronic format via e-mail to SanDiego@waterboards.ca.gov. Documents over 50 megabytes will not be accepted via e-mail and must be placed on a disc and delivered to:

California Regional Water Quality Control Board
San Diego Region
Attn: 401 Certification No. R9-2014-0121: 809792:lhonma
2375 Northside Drive, Suite 100
San Diego, California 92108

Each electronic document must be submitted as a single file, in Portable Document Format (PDF), and converted to text searchable format using Optical Character

Recognition (OCR). All electronic documents must include scanned copies of all signature pages; electronic signatures will not be accepted. Electronic documents submitted to the San Diego Water Board must include the following identification numbers in the header or subject line: Certification No. R9-2014-0121: 809792:lhonma.

L. Document Signatory Requirements. All applications, reports, or information submitted to the San Diego Water Board must be signed as follows:

1. For a corporation, by a responsible corporate officer of at least the level of vice president.
2. For a partnership or sole proprietorship, by a general partner or proprietor, respectively.
3. For a municipality, or a state, federal, or other public agency, by either a principal executive officer or ranking elected official.
4. A duly authorized representative may sign applications, reports, or information if:
 - a. The authorization is made in writing by a person described above.
 - b. The authorization specifies either an individual or position having responsibility for the overall operation of the regulated activity.
 - c. The written authorization is submitted to the San Diego Water Board Executive Officer.

If such authorization is no longer accurate because a different individual or position has responsibility for the overall operation of the Project, a new authorization satisfying the above requirements must be submitted to the San Diego Water Board prior to or together with any reports, information, or applications, to be signed by an authorized representative.

M. Document Certification Requirements. All applications, reports, or information submitted to the San Diego Water Board must be certified as follows:

"I certify under penalty of law that I have personally examined and am familiar with the information submitted in this document and all attachments and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the information is true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment."

VII. NOTIFICATION REQUIREMENTS

- A. **Twenty Four Hour Non-Compliance Reporting.** The Applicant shall report any noncompliance which may endanger health or the environment. Any such information shall be provided orally to the San Diego Water Board within **24 hours** from the time the Applicant becomes aware of the circumstances. A written submission shall also be provided within five days of the time the Applicant becomes aware of the circumstances. The written submission shall contain a description of the noncompliance and its cause; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected; the anticipated time it is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. The San Diego Water Board, or an authorized representative, may waive the written report on a case-by-case basis if the oral report has been received within 24 hours.
- B. **Hazardous Substance Discharge.** Except as provided in Water Code section 13271(b), any person who, without regard to intent or negligence, causes or permits any hazardous substance or sewage to be discharged in or on any waters of the State, shall as soon as (a) that person has knowledge of the discharge, (b) notification is possible, and (c) notification can be provided without substantially impeding cleanup or other emergency measures, immediately notify the County of San Diego, in accordance with California Health and Safety Code section 5411.5 and the California Office of Emergency Services of the discharge in accordance with the spill reporting provision of the State toxic disaster contingency plan adopted pursuant to Government Code Title 2, Division 1, Chapter 7, Article 3.7 (commencing with section 8574.17), and immediately notify the State Water Board or the San Diego Water Board of the discharge. This provision does not require reporting of any discharge of less than a reportable quantity as provided for under subdivisions (f) and (g) of section 13271 of the Water Code unless the Applicant is in violation of a Basin Plan prohibition.
- C. **Oil or Petroleum Product Discharge.** Except as provided in Water Code section 13272(b), any person who without regard to intent or negligence, causes or permits any oil or petroleum product to be discharged in or on any waters of the State, or discharged or deposited where it is, or probably will be, discharged in or on any waters of the State, shall, as soon as (a) such person has knowledge of the discharge, (b) notification is possible, and (c) notification can be provided without substantially impeding cleanup or other emergency measures, immediately notify the California Office of Emergency Services of the discharge in accordance with the spill reporting provision of the State oil spill contingency plan adopted pursuant to Government Code Title 2, Division 1, Chapter 7, Article 3.7 (commencing with section 8574.1). This requirement does not require reporting of any discharge of less than 42 gallons unless the discharge is also required to be reported pursuant to Clean Water Act section 311, or the discharge is in violation of a Basin Plan prohibition.
- D. **Anticipated Noncompliance.** The Applicant shall give advance notice to the San Diego Water Board of any planned changes in the Project or the Compensatory Mitigation project which may result in noncompliance with Certification conditions or requirements.

- E. **Commencement of Construction Notification.** The Applicant must notify the San Diego Water Board in writing at least 5 days prior to the start of initial Project construction ground disturbance
- F. **Transfers.** This Certification is not transferable in its entirety or in part to any person or organization except after notice to the San Diego Water Board in accordance with the following terms:
1. **Transfer of Property Ownership:** The Applicant must notify the San Diego Water Board of any change in ownership of the Project area. Notification of change in ownership must include, but not be limited to, a statement that the Applicant has provided the purchaser with a copy of the Section 401 Water Quality Certification and that the purchaser understands and accepts the certification requirements and the obligation to implement them or be subject to liability for failure to do so; the seller and purchaser must sign and date the notification and provide such notification to the San Diego Water Board **within 10 days of the transfer of ownership.**
 2. **Transfer of Mitigation Responsibility:** Any notification of transfer of responsibilities to satisfy the mitigation requirements set forth in this Certification must include a signed statement from an authorized representative of the new party (transferee) demonstrating acceptance and understanding of the responsibility to comply with and fully satisfy the mitigation conditions and agreement that failure to comply with the mitigation conditions and associated requirements may subject the transferee to enforcement by the San Diego Water Board under Water Code section 13385, subdivision (a). Notification of transfer of responsibilities meeting the above conditions must be provided to the San Diego Water Board **within 10 days of the transfer date.**
 3. **Transfer of Post-Construction BMP Maintenance Responsibility:** The Applicant assumes responsibility for the inspection and maintenance of all post-construction structural BMPs until such responsibility is legally transferred to another entity. At the time maintenance responsibility for post-construction BMPs is legally transferred the Applicant must submit to the San Diego Water Board a copy of such documentation and must provide the transferee with a copy of a long-term BMP maintenance plan that complies with manufacturer specifications. The Applicant must provide such notification to the San Diego Water Board **within 10 days** of the transfer of BMP maintenance responsibility.

Upon properly noticed transfers of responsibility, the transferee assumes responsibility for compliance with this Certification and references in this Certification to the Applicant will be interpreted to refer to the transferee as appropriate. Transfer of responsibility does not necessarily relieve the Applicant of responsibility for compliance with this Certification in the event that a transferee fails to comply.

VIII. CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE

- A. The City of San Diego is the Lead Agency under the California Environmental Quality Act (CEQA) (Public Resources Code section 21000, et seq.) section 21067, and CEQA Guidelines (California Code of Regulations, title 14, section 15000 et seq.) section 15367, and has filed a Notice of Determination dated October 4, 2013 for the Final Environmental Impact Report (FEIR) titled Castlerock (State Clearing House Number 2004061029) and the Notice of Determination dated August 7, 2015 for the Addendum to the Environmental Impact Report for Castlerock (Addendum). The Lead Agency has determined the Project will have a significant effect on the environment and mitigation measures were made a condition of the Project.
- B. The San Diego Water Board is a Responsible Agency under CEQA (Public Resources Code section 21069; CEQA Guidelines section 15381). The San Diego Water Board has considered the Lead Agency's FEIR and Addendum and finds that the Project as proposed will have a significant effect on resources within the San Diego Water Board's purview.
- C. The San Diego Water Board has required mitigation measures as a condition of this Certification to avoid or reduce the environmental effects of the Project to resources within the Board's purview to a less than significant level.
- D. The Lead Agency has adopted a mitigation monitoring and reporting program pursuant to Public Resources Code section 21081.6 and CEQA Guidelines section 15097 to ensure that mitigation measures and revisions to the Project identified in the FEIR are implemented. The Mitigation Monitoring and Reporting Program (MMRP) is included and incorporated by reference in Attachment 5 to this Certification. The Applicant shall implement the Lead Agency's MMRP described in the FEIR, as it pertains to resources within the San Diego Water Board's purview. The San Diego Water Board has imposed additional MMRP requirements as specified in sections V and VI of this Certification.
- E. As a Responsible Agency under CEQA, the San Diego Water Board will file a Notice of Determination in accordance with CEQA Guidelines section 15096 subdivision (i).

IX. SAN DIEGO WATER BOARD CONTACT PERSON


Lisa Honma, Environmental Scientist
Telephone: 619-521-3367
Email: Lisa.Honma@waterboards.ca.gov

X. WATER QUALITY CERTIFICATION

I hereby certify that the proposed discharge from the **Castlerock Residential Development Project** (Certification No. R9-2014-0121) will comply with the applicable provisions of sections 301 ("Effluent Limitations"), 302 ("Water Quality Related Effluent Limitations"), 303 ("Water Quality Standards and Implementation Plans"), 306 ("National Standards of Performance"), and 307 ("Toxic and Pretreatment Effluent Standards") of the Clean Water Act. This discharge is also regulated under State Water Board Order No. 2003-0017-DWQ, "*Statewide General Waste Discharge Requirements for Dredged or Fill Discharges that have Received State Water Quality Certification (General WDRs)*," which requires compliance with all conditions of this Water Quality Certification. Please note that enrollment under Order No. 2003-017-DWQ is conditional and, should new information come to our attention that indicates a water quality problem, the San Diego Water Board may issue individual waste discharge requirements at that time.

Except insofar as may be modified by any preceding conditions, all Certification actions are contingent on (a) the discharge being limited to, and all proposed mitigation being completed in strict compliance with, the applicants' Project description and/or the description in this Certification, and (b) compliance with all applicable requirements of the Basin Plan.

I, David W. Gibson, Executive Officer, do hereby certify the forgoing is a full, true, and correct copy of Certification No. R9-2014-0121 issued on June 22, 2016.



DAVID W. GIBSON
Executive Officer
San Diego Water Board

22 June 2016
Date

ATTACHMENT 1 DEFINITIONS

Activity - when used in reference to a permit means any action, undertaking, or project including, but not limited to, construction, operation, maintenance, repair, modification, and restoration which may result in any discharge to waters of the state.

Buffer - means an upland, wetland, and/or riparian area that protects and/or enhances aquatic resource functions associated with wetlands, rivers, streams, lakes, marine, and estuarine systems from disturbances associated with adjacent land uses.

California Rapid Assessment Method (CRAM) - is a wetland assessment method intended to provide a rapid, scientifically-defensible and repeatable assessment methodology to monitor status and trends in the conditions of wetlands for applications throughout the state. It can also be used to assess the performance of compensatory mitigation projects and restoration projects. CRAM provides an assessment of overall ecological condition in terms of four attributes: landscape context and buffer, hydrology, physical structure and biotic structure. CRAM also includes an assessment of key stressors that may be affecting wetland condition and a "field to PC" data management tool (eCRAM) to ensure consistency and quality of data produced with the method.

Compensatory Mitigation Project - means compensatory mitigation implemented by the Applicant as a requirement of this Certification (i.e., applicant -responsible mitigation), or by a mitigation bank or an in-lieu fee program.

Discharge of dredged material – means any addition of dredged material into, including redeposit of dredged material other than incidental fallback within, the waters of the United States and/or State.

Discharge of fill material – means the addition of fill material into waters of the United States and/or State.

Dredged material – means material that is excavated or dredged from waters of the United States and/or State.

Ecological Success Performance Standards – means observable or measurable physical (including hydrological), chemical, and/or biological attributes that are used to determine if a compensatory mitigation project meets its objectives.

Enhancement – means the manipulation of the physical, chemical, or biological characteristics of an aquatic resource to improve a specific aquatic resource function(s). Enhancement results in the gain of selected aquatic resource function(s), but may also lead to a decline in other aquatic resource function(s). Enhancement does not result in a gain in aquatic resource area.

Establishment – means the manipulation of the physical, chemical, or biological characteristics present to develop an aquatic resource that did not previously exist. Creation results in a gain in aquatic resource area.

Fill material – means any material used for the primary purpose of replacing an aquatic area with dry land or of changing the bottom elevation of a water body.

Isolated wetland – means a wetland with no surface water connection to other aquatic resources.

Mitigation Bank – means a site, or suite of sites, where resources (e.g., wetlands, streams, riparian areas) are restored, established, enhanced, and/or preserved for the purpose of providing mitigation for impacts authorized by this Certification.

Preservation - means the removal of a threat to, or preventing the decline of, aquatic resources by an action in or near those aquatic resources. This term includes activities commonly associated with the protection and maintenance of aquatic resources through the implementation of appropriate legal and physical mechanisms. Preservation does not result in a gain of aquatic resource area or functions.

Re-establishment - means the manipulation of the physical, chemical, or biological characteristics of a site with the goal of returning natural/ historic functions to a former aquatic resource. Re-establishment results in rebuilding a former aquatic resource and results in a gain in aquatic resource area and functions.

Rehabilitation - means the manipulation of the physical, chemical, or biological characteristics of a site with the goal of repairing natural/ historic functions to a degraded aquatic resource. Rehabilitation results in a gain in aquatic resource function, but does not result in a gain in aquatic resource area.

Restoration - means the manipulation of the physical, chemical, or biological characteristics of a site with the goal of returning natural/historic functions to a former or degraded aquatic resource. For the purpose of tracking net gains in aquatic resource area, restoration is divided into two categories: re-establishment and rehabilitation.

Start of Project Construction - For the purpose of this Certification, "start of Project construction" means to engage in a program of on-site construction, including site clearing, grading, dredging, landfilling, changing equipment, substituting equipment, or even moving the location of equipment specifically designed for a stationary source in preparation for the fabrication, erection or installation of the building components of the stationary source within waters of the United States and/or State.

Uplands - means non-wetland areas that lack any field-based indicators of wetlands or other aquatic conditions. Uplands are generally well-drained and occur above (i.e., up-slope) from nearby aquatic areas. Wetlands can, however, be entirely surrounded by uplands. For example, some natural seeps and constructed stock ponds lack aboveground hydrological connection to other aquatic areas. In the watershed context, uplands comprise the landscape matrix in which aquatic areas form. They are the primary sources of sediment, surface runoff, and associated chemicals that are deposited in aquatic areas or transported through them.

Water quality objectives and other appropriate requirements of state law – means the water quality objectives and beneficial uses as specified in the appropriate water quality control plan(s); the applicable provisions of sections 301, 302, 303, 306, and 307 of the Clean Water Act; and any other appropriate requirement of state law.

Waters of the State - means any surface water or groundwater, including saline waters, within the boundaries of the State. [Water Code section 13050, subd. (e)].

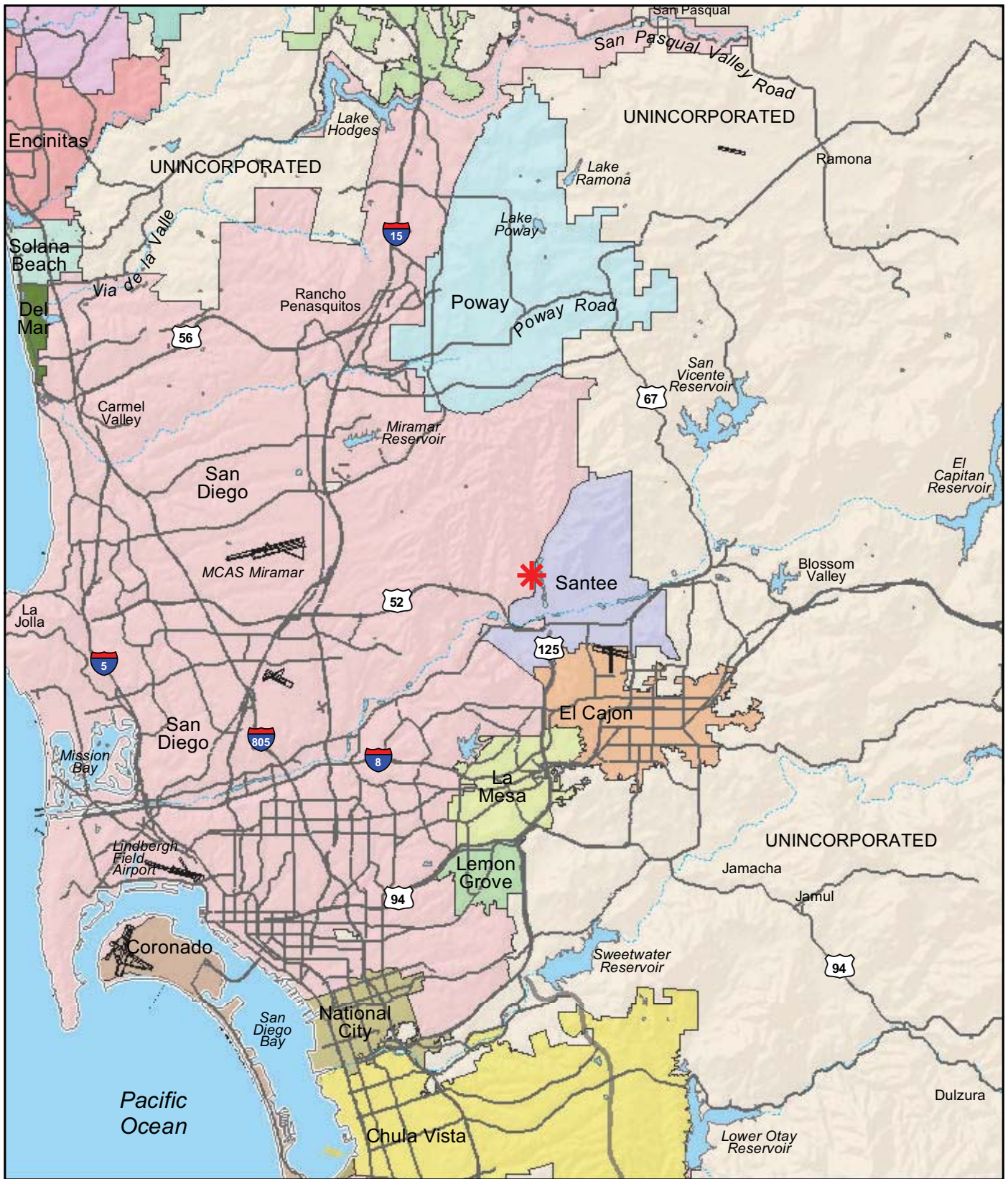
Pardee Homes
Castlerock Residential Development
Certification No. R9-2014-0151

**ATTACHMENT 2
PROJECT LOCATION MAPS**

Figure 1 – Regional Location

Exhibit 1 – Location Map

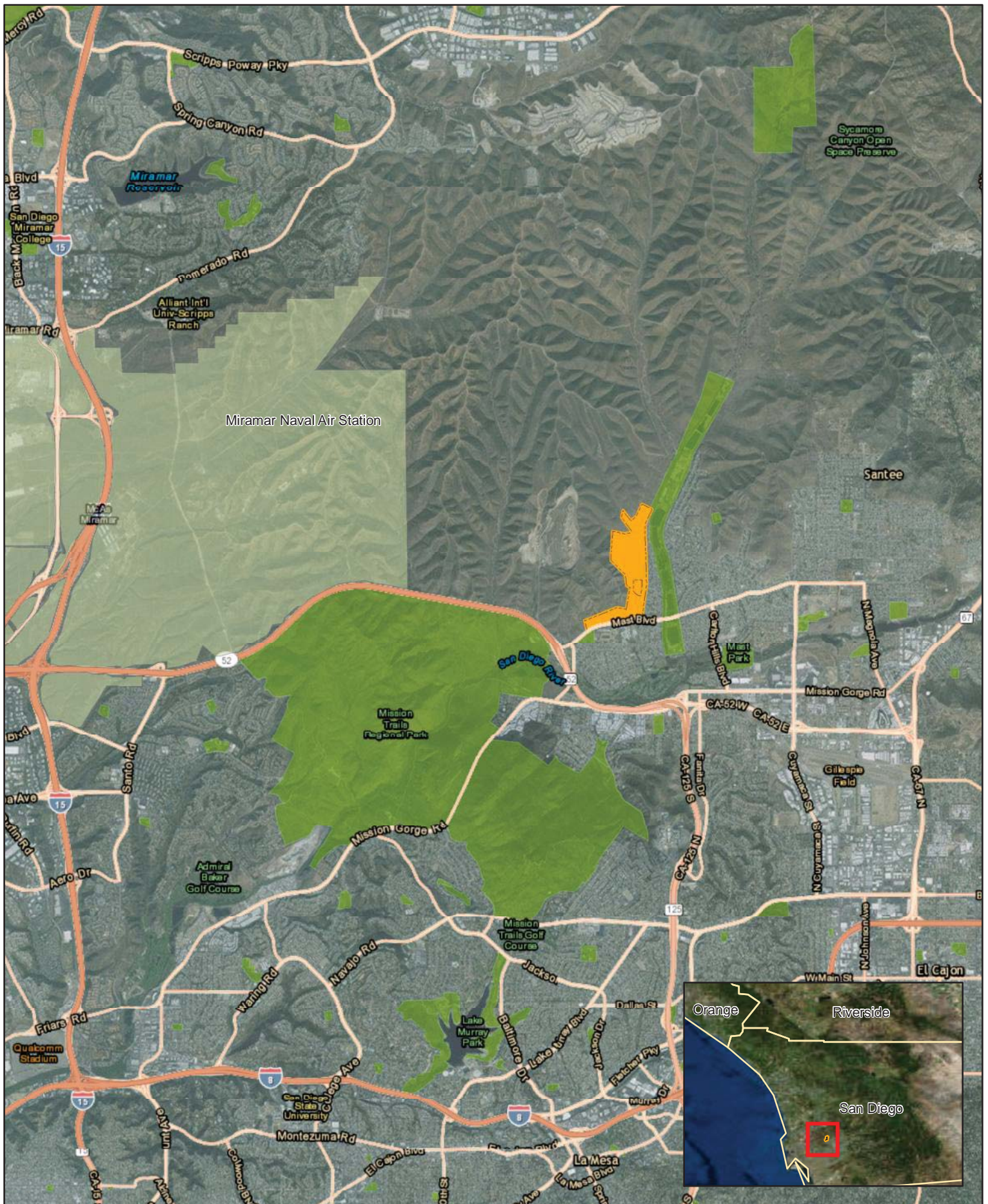
Figure 2 – Project Location on USGS Map



 Project Location

FIGURE 1

Regional Location



- Site Boundary
- Military Facility
- Local Park or Recreational Area

Natural Resource Consultants. Date: 9/4/2014. S:\Pardee Homes\Castlerock\GIS\maps\workspace\2014\Aug_Sep_BRA\Exh01_LocationMap_EI01_20140904.mxd

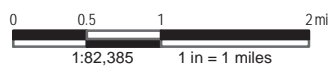
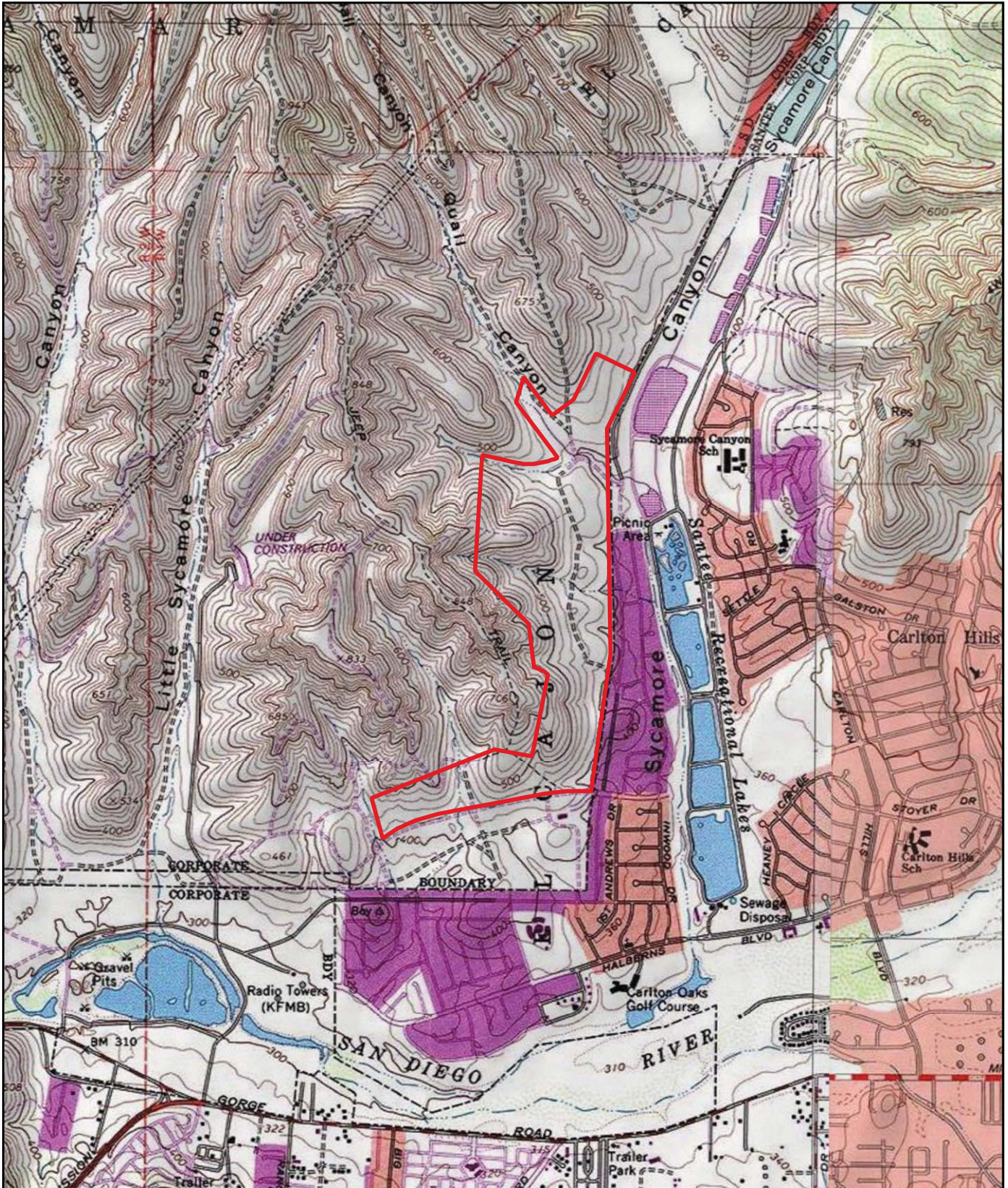


EXHIBIT 1: LOCATION MAP
CASTLEROCK | SAN DIEGO COUNTY, CALIFORNIA





 Project Boundary

FIGURE 2

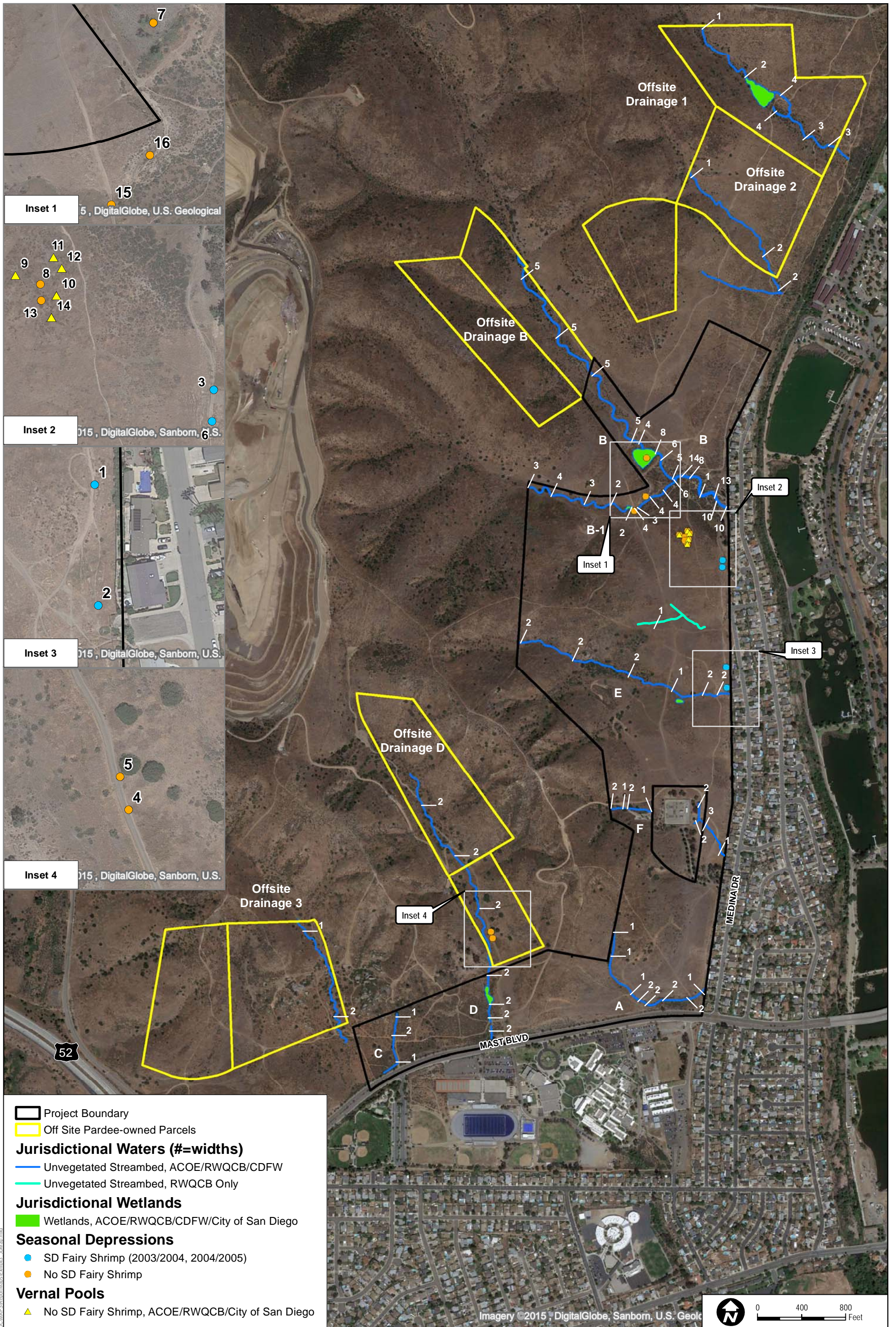
Project Location on USGS Map



Pardee Homes
Castlerock Residential Development
Certification No. R9-2014-0151

**ATTACHMENT 3
PROJECT SITE PLANS**

Exhibit 3 – Jurisdictional Delineation Map
Figure 3 – Proposed Project Impacts
Grading Plans for Castlerock South Phase 1, Sheets 1 – 2, 6 –19
Grading Plans for Castlerock North Phase 2, Sheets 1 – 2, 6 - 11



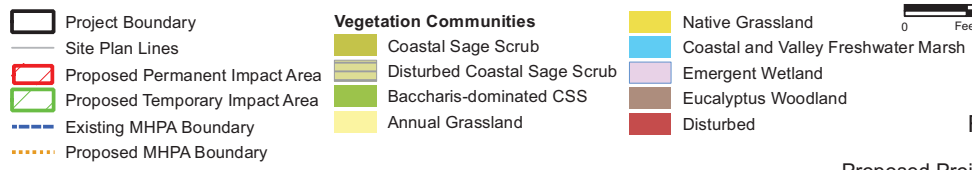
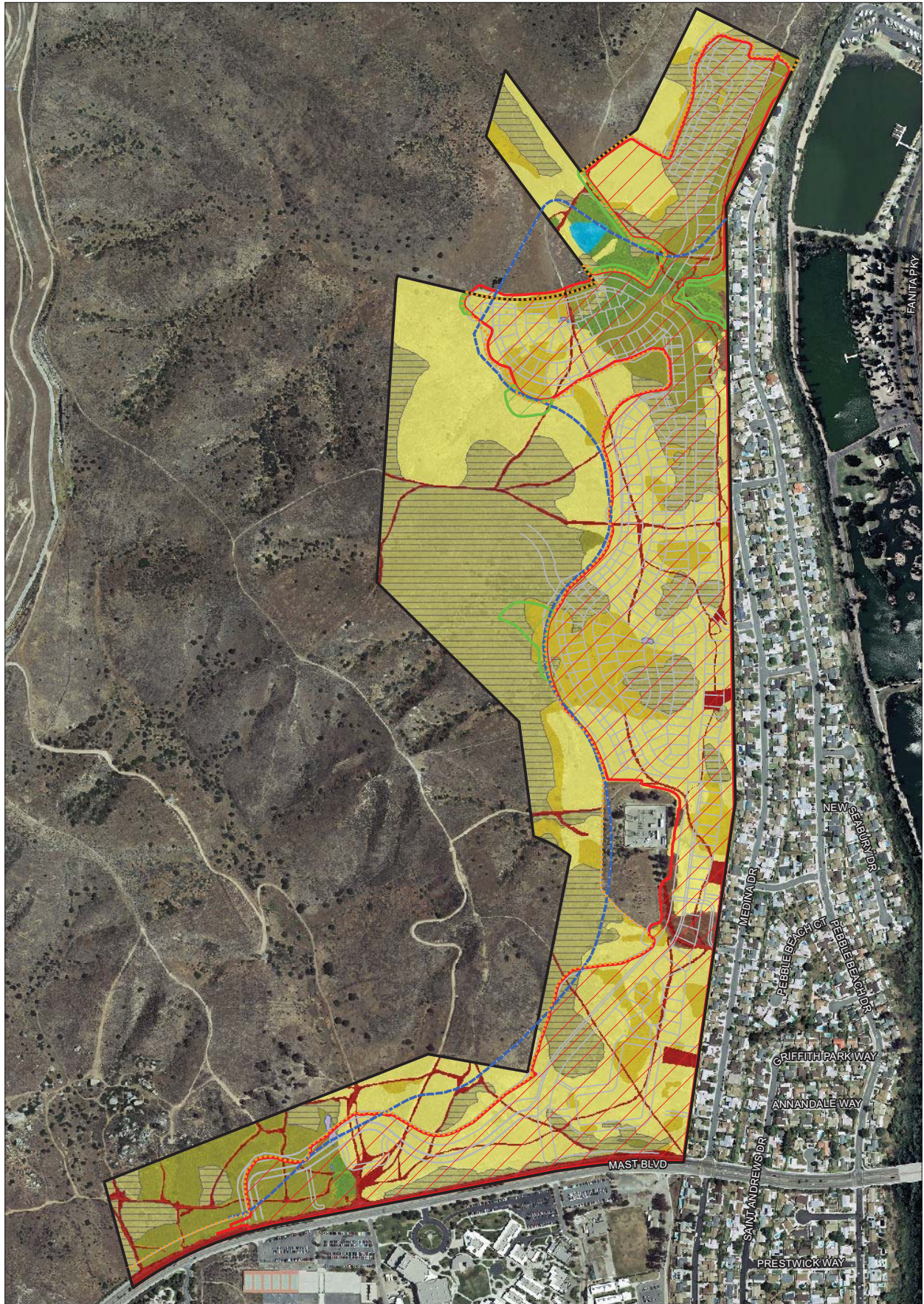


FIGURE 3

Proposed Project Impacts

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBGRADER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THEREO (16 USC SECTION 1531 ET SEQ.)
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROL MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8777. THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA IF ANY VERTICAL CONTROL IS TO BE DESTROYED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED IN WRITING AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE:** SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DID ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE ISSUED FOR YOUR DID ALERT ID NUMBER. CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DETAUCTION OR DAMAGE" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEMS AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0404 OF THE MUNICIPAL CODE.
- BEFORE TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (658) 427-3300.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME, COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORITIES, OR COMPLIANCE WITH ORDINANCES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOES SERVING AS HANGERS THAT ARE NOT IN "AS-BUILT" CONDITION IN PROPOSED EXCAVATION AREAS OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DIRT UTILITIES-SODAGE, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR ≥ 0.60) AND INSTALLED FLUSH WITH SURROUNDING SURFACE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1 OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION 14 OF THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PARKED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYBRID MIX, GRASS COVER, OR EQUIVALENT MATERIAL. SEE SHEET 24 FOR MIX AND SPECIFICATIONS.

TRUCK HAUL NOTES

THE CONTRACTOR SHALL SUBMIT A TRUCK HAUL ROUTE PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING EXPORT OR IMPORT OF MATERIAL. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT CENTER, 3RD FLOOR, 800TH ST. BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619) 446-5150. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO STARTING WORK.

REFERENCE DRAWINGS

MST BLVD IMPROVEMENT PLANS	01-077
MST BLVD IMPROVEMENT PLANS	24144-0
CARLTON COUNTRY CLUB MAJOR UNIT 1 IMPROVEMENT PLANS	1.M. 2708
LAKE VIEW WEST TRACT 5678 IMPROVEMENT PLANS	3576-1
CARLTON COUNTRY CLUB MAJOR UNIT 4 IMPROVEMENT PLANS	1.M. 2984
CARLTON COUNTRY CLUB MAJOR UNIT 6 IMPROVEMENT PLANS	1.M. 3054
CARLTON COUNTRY CLUB ESTATES UNIT 1 IMPROVEMENT PLANS	1.M. 2112
CASTLEROCK SOUTH PHASE 1 IMPROVEMENT PLANS	38422-D
CASTLEROCK SOUTH PHASE 2 IMPROVEMENT PLANS	38422-D
CASTLEROCK NORTH PHASE 2 GRADING PLANS	38421-D

UNAUTHORIZED CHANGES & USES: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans.

California Council
of Civil Engineers
& Land Surveyors

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING: IF THIS BAR DOES NOT MEASURE 1" THEN GRADING IS NOT TO SCALE.

GRADING & GEOTECHNICAL SPECIFICATIONS

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OF GEOTECHNICAL/GEOTECHNICAL INVESTIGATION ENTITLED: URGENT GEOTECHNICAL REPORT: CASTLEROCK SAN DIEGO, CALIFORNIA DATED: DECEMBER 12, 2014. PROJECT NO. 06969-42-03. SUPPLEMENTAL GEOTECHNICAL INVESTIGATION: CASTLEROCK SAN DIEGO, CALIFORNIA DATED: AUGUST 6, 2015. PROJECT NO. 06969-42-03. RESPONSE TO CITY OF SAN DIEGO REVIEW COMMENTS: CASTLEROCK SAN DIEGO, CALIFORNIA DATED: AUGUST 6, 2015. PROJECT NO. 06969-42-03. URGENT GEOTECHNICAL REPORT: CASTLEROCK SAN DIEGO, CALIFORNIA DATED: DECEMBER 12, 2014. PROJECT NO. 06969-42-03.
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF SOLE OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING, WHERE GEOLOGICAL INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS. THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE. FOR APPROVAL UPON COMPLETION OF THE WORK, IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENDATION OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERGROUND AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

DATE: 12-23-15
DATE: 12-23-15
DATE: 12-23-15

SPECIAL GEOTECHNICAL NOTES

- THE PROJECT'S PROFESSIONAL GEOLOGIST SHALL CONDUCT DETAILED GEOLOGIC MAPPING OF ALL EXCAVATIONS WITHIN THE AREA OF PERMITTED GRADING. THE GEOLOGIC MAPPING MUST BE RECORDED ON DETAILED GEOLOGIC MAPS AND REPRESENTATIVE CROSS SECTIONS (PARTICULARLY THE CROSS SECTIONS UTILIZED IN THE SLOPE STABILITY ANALYSES AND BUTTRESS DESIGN).
- ADDITIONAL SLOPE STABILITY ANALYSES SHALL BE CONDUCTED IF SITE CONDITIONS DIFFER FROM THE CONDITIONS MODELED IN THE SLOPE STABILITY ANALYSES PRESENTED IN THE GEOTECHNICAL DOCUMENTS REFERENCED IN NOTE NO. 1 OF THE GRADING AND GEOTECHNICAL SPECIFICATION.
- A DETAILED AS-GRADED GEOTECHNICAL REPORT SHALL BE SUBMITTED THAT INCLUDES DETAILED GEOLOGIC MAPS AND CROSS SECTIONS OF ALL THE PERMITTED EXCAVATIONS (INCLUDING TEMPORARY AND FINAL SLOPES). THE MAPS AND CROSS SECTIONS SHALL SHOW THE DISTRIBUTION OF GEOLOGIC UNITS, GEOLOGIC STRUCTURAL ALTITUDES (E.G. BEDDING, BEDDING PLANE SHEARS, FRACTURES, JOINTS, FAULTS, ETC.), AND AREAS OF SEEPAGE. ALL NEW OR REVISED SLOPE STABILITY ANALYSES SHALL BE INCLUDED IN THE AS-GRADED GEOTECHNICAL REPORT.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

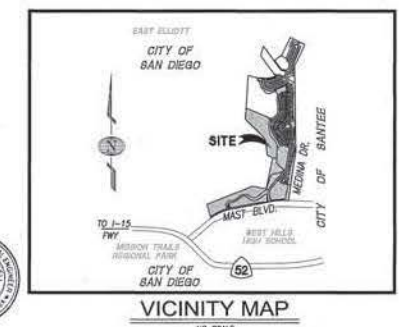
DATE: 12/23/15
DATE: 12/23/15

SHEET INDEX

GRADING PLAN COVER SHEET AND NOTES	SHEET 1
NOTES AND DRAINAGE DETAILS	SHEETS 3-5
MITIGATION MONITORING NOTES	TYPICAL GRADING DETAILS
TYPICAL GRADING DETAILS	SHEET 7
GRADING PLAN KEY MAP & STREET SECTIONS	SHEETS 8-9
GRADING PLANS	SHEETS 10-27
STORM DRAIN PROFILES	SHEETS 28-46
TREATMENT BMP DETAILS	SHEETS 47-48
EROSION CONTROL NOTES & DETAILS	SHEETS 49-80
EROSION CONTROL PLANS	SHEETS 81-82
STORM DRAIN KEY MAP	SHEETS 63-114
LANDSCAPE PLANS	

CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

GRADING PLANS FOR: CASTLEROCK SOUTH PHASE 1 (UNITS 1, 2, 3 & 4)



PROPOSED LEGAL DESCRIPTION

CASTLEROCK UNITS 1, 2, 3 & 4 MAP NO. _____ IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AS INSTRUMENT NO. _____ OF OFFICIAL RECORDS.

BENCHMARK

EBF (EAST BRASS PIV) AT MISSION GORGE ROAD AT GOLFEST DRIVE - ELEVATION=509.654

OWNER/APPLICANT

PARADE HOMES
12400 SABRE SPINDLES PARKWAY
SAN DIEGO, CA 92128
TEL: (658) 794-2500 FAX: (658) 794-2599

LEGAL DESCRIPTION

PORTIONS OF LOTS 4, 5, 8 AND 9 OF THE RESUBDIVISION OF A PART OF SANTA RANCHO, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1763, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, ON FEBRUARY 28, 1918. SEE PROJECT TITLE REPORT FOR FULL PARTICULARS.

ASSESSOR'S PARCEL NUMBER

366-050-17, 366-050-18, 366-050-19, 366-050-20, 366-050-21, 366-050-22, 366-050-23, 366-050-24, 366-050-25, 366-050-26, 366-050-27, 366-050-28, 366-050-29

TOTAL DISTURBED AREA

109.63 ACRES

TOPOGRAPHY SOURCE

TOPO SOURCE: PHOTO GEODETIC CORPORATION
1161 E. MAIN STREET # 102
EL CAJON, CA 92021
(619) 631-1366

latitude 33
PLANNING & ENGINEERING
14600 HUNTERS GREEN Pkwy. Suite 100, San Diego, CA 92128
TEL: 619-594-0033

C. JOHN EARDENSOHN
R.C.E. 34584
DATE REGISTRATION: 08/30/07
EXPIRES: 08/30/17

DESIGNED BY: GPK
DATE: 12/23/15

STREET DATA TABLE

STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES/DAY)	W/W (FT)
CASTLEROCK ROAD	COLLECTOR STREET	30	4,300	82'-6"
MST BLVD TO SOUTH OF CASTLEROCK ROAD	LOCAL STREET	25	1,400	58'-5"
CELESTA DRIVE	LOCAL STREET	25	750	58'
FRANCIS AVENUE	LOCAL STREET	25	1,000	58'
TOPOGRAPHY COURT	LOCAL STREET	25	720	58'

WORK TO BE DONE

- THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.
- STANDARD SPECIFICATIONS:
- DOCUMENT NO. DESCRIPTION
PSS070112-01 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2012 EDITION
PSS070112-02 CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2012 EDITION
PSS070112-04 CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2012 EDITION
PSS070112-06 CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2010 EDITION
- STANDARD DRAWINGS:
- DOCUMENT NO. DESCRIPTION
PSS070112-03 CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION
PSS070112-05 CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2010 EDITION

LEGEND

EXISTING IMPROVEMENT	STANDARD DIMS.	SYMBOL
EXISTING CONTOURS		(contour)
EXISTING STORM DRAIN		—
EXISTING STORM DRAIN CLEAN OUT		—
EXISTING STORM DRAIN INLET		—
EXISTING BROW DITCH		—
PROPOSED IMPROVEMENT	STANDARD DIMS.	SYMBOL
PROPOSED CONTOURS		—
PROPOSED SLOPE (2:1 OR FLATTER)		—
DAYLIGHT LINE		—
PROPOSED STORM DRAIN (PVT)	(SIZE PER PLAN)	—
PROPOSED STORM DRAIN CLEAN OUT (PVT)	PER D-8 (TYPE PER PLAN)	—
PROPOSED HEADWALL (PVT)	PER D-34 (TYPE PER PLAN)	—
PROPOSED STORM DRAIN CURB INLET (PVT)	PER 320-116 (SIZE PER PLAN)	—
PROPOSED CATCH BASIN TYPE 1 (PVT)	PER D-29	—
PROPOSED SEWER	REFERENCE ONLY (PER 8781-W8)	—
PROPOSED WATER	REFERENCE ONLY (PER 8781-W8)	—
LIMIT OF WORK		—
DIRECTION OF FLOW		—
CONCRETE BROW DITCH (PVT)	PER 500-106 (TYPE PER PLAN)	—
CONCRETE BROW DITCH (PVT)	(TYPE PER PLAN)	—
RETAINING WALL (PVT)	(PER SEPARATE PERMIT)	—
BIO-RETENTION BASIN (PVT)	(SEE DETAIL SHEET 2)	—
EPHEMERAL CHANNEL (PVT)	(SEE DETAIL SHEET 16)	—
W/COBBLE LINING & PLANTING AREA		—
RIGHT OF WAY		—
PROPERTY LINE		—
REPAIR (PVT)	PER 500-104	—
8" SUBDRAIN (PVT)	(SEE DETAIL SHEET 6)	—
BUTTRESS/STABILITY FILL SLOPE		—
REMEDIAL GRADING		—
BUTTRESS SUBDRAIN (PVT)		—
MODULAR WETLAND (PVT)	(SEE DETAILS SHEETS 28-48)	—
GENERAL UTILITY EASEMENT (G.U.E.)		—

GRADING QUANTITIES

GRADED AREA	109.63 (ACRES)	MAX. CUT DEPTH 150 (FT)
CUT QUANTITIES	1,031,000 (CY)	MAX. CUT SLOPE HATIO (2:1 MAX) 2:1
FILL QUANTITIES	1,031,000 (CY)	MAX. FILL DEPTH 50 (FT)
IMPORT	0 (CY)	MAX. FILL SLOPE RATIO (2:1 MAX) 2:1

DISCRETIONARY PERMITS: 599-1802, 599-1830
ENGINEERING PERMIT NO. C-E-1114
WOD NO. 9-37C37922
CONSTRUCTION SITE PRIORITY: HIGH

TITLE SHEET FOR: CASTLEROCK SOUTH PHASE I

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 114 SHEETS

FOR CITY ENGINEER: 12/23/15
DATE

NO. 2605487
PROJECT NO. 373727

DATE STARTED: _____
DATE COMPLETED: _____

CONTRACTOR: _____
INSPECTOR: _____

38150-1-D

PERMANENT POST-CONSTRUCTION BMP NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXCITED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (COMOAA) OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT.

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 8 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES:** DESHEDDING BASINS, DIVERSION DITCHES, DOWNSPANS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 8 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE:** FUNDING, POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

SDG&E PERMISSION TO GRADE AND CONSTRUCT IMPROVEMENTS

SAN DIEGO GAS & ELECTRIC PERMISSION TO GRADE AND CONSTRUCT IMPROVEMENTS
PERMISSION IS HEREBY GRANTED TO PARADE HOMES (PERMITTED), TO GRADE AND CONSTRUCT IMPROVEMENTS AS SHOWN ON THESE PLANS WITHIN SAN DIEGO GAS & ELECTRIC COMPANY'S EASEMENT(S) SUBJECT TO THE FOLLOWING CONDITIONS:

- SUBMITTALS:** PERMITTEE AGREES TO SUPPLY SDG&E WITH "AS BUILT" GRADING IMPROVEMENT AND PROFILE PLANS TO SDG&E SPECIFICATIONS, IF REQUESTED.
 - PERMITTEE AGREES TO SUBMIT FOR REVIEW AND APPROVAL A BLASTING PLAN PRIOR TO BLASTING, IF BLASTING IS REQUIRED.
- PRE-CONSTRUCTION MEETINGS:** SDG&E'S LAND MANAGEMENT REPRESENTATIVE (LWR) MUST BE INVITED WITH AT LEAST THREE (3) WORKING DAYS PRIOR NOTICE.
- GRADING:**
 - AT LEAST TWENTY-FOUR (24) HOURS NOTICE MUST BE GIVEN TO SDG&E'S LWR BEFORE START OF WORK.
 - FIELD CHANGES TO PLANS WITHIN SAID EASEMENT SHALL BE APPROVED IN WRITING BY SDG&E LWR.
 - PERMITTEE IS RESPONSIBLE TO CALL DAILY ALERT AT 1-800-227-2600 FOR ALL UNDERGROUND MARK-OUT LOCATIONS.
 - CLEARANCE OF (30) FEET MINIMUM BETWEEN THE SDG&E ELECTRIC TRANSMISSION WIRES AND THE NATURAL GROUND SHALL BE MAINTAINED ON ANY GIVEN DAY. NOTING LINE SLOES VARY DEPENDING ON AMBIENT TEMPERATURE AND LINE CURRENT. ALL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO OSHA, CAL-OSHA, ANS, NIOSH, AND NED, FOR CLEARANCES WHEN WORKING AROUND ENERGIZED ELECTRICAL FACILITIES MUST BE MAINTAINED.
 - NO GRADING SHALL BE ALLOWED WITHIN TEN (10) FEET OF A SINGLE WOOD POLE STRUCTURE OR ANCHOR, WITHIN FIFTEEN (15) FEET OF MULTI-WOOD POLES, WITHIN TWENTY (20) FEET OF STEEL LATTICE TOWERS OR WITHIN THIRTY (30) FEET OF STEEL POLES.
 - SDG&E RESERVES THE RIGHT TO INSPECT AND PERFORM QUALITY CONTROL WORK DURING CONSTRUCTION.
- SPECIAL CONDITIONS: N/A
- EROSION CONTROL:**
 - ALL DISTURBED AND CREATED SLOPES, WITHIN THE SDG&E TRANSMISSION EASEMENT, SHALL BE HYDRO-SEDED OR PLANTED BY PERMITTEE WITH AN SDG&E APPROVED MIX.
 - ALL DRAINAGE SHALL BE DESIGNED TO PREVENT EROSION OF SDG&E EASEMENT AND ACCESS ROADS.

SAN DIEGO GAS & ELECTRIC COMPANY

REVIEWED BY:

JEFF SYKES
LAND DEVELOPMENT SUPERVISOR
VALID FOR 18 MONTHS FROM DATE OF SIGNATURE

DATE: 12/30/2015

PRIVATE NOTE

ALL ONDIE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

GROUND WATER DISCHARGE NOTES

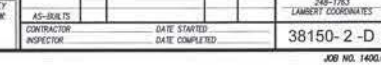
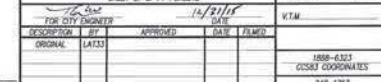
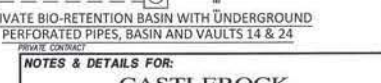
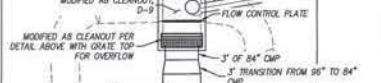
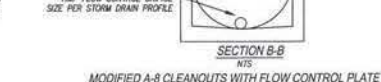
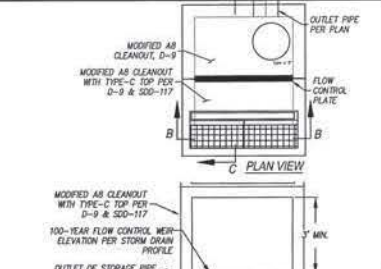
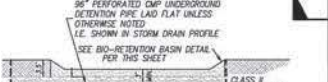
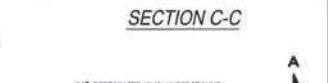
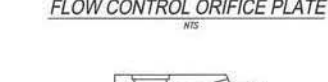
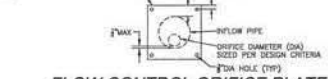
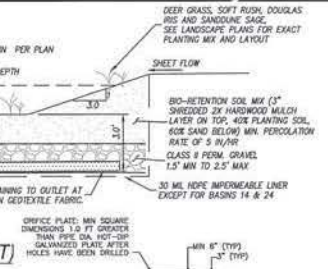
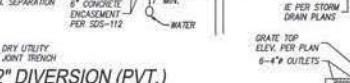
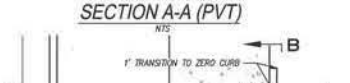
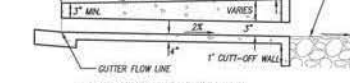
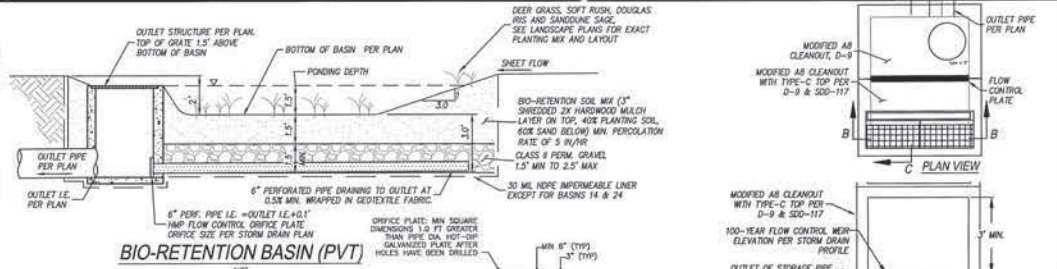
- ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2008-0002 NPDES CAG19002.
- THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
- ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2007-0034 NPDES NO. CAG19001.

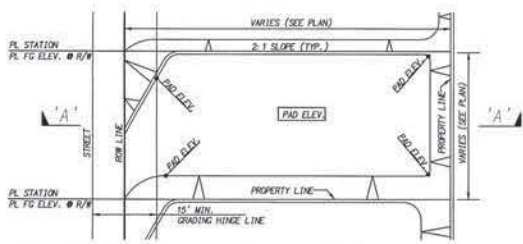
STORM WATER PROTECTION NOTES

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. 2009-0009-010, AS MODIFIED BY ORDER NO. 2010-0014-010, AND RISK LEVEL/TYPE: CHECK ONE BELOW

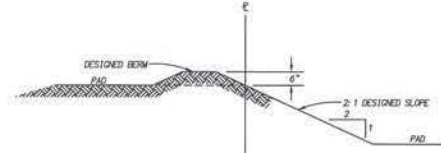
- RFP
 COP RISK LEVEL 1
 COP RISK LEVEL 2
 COP RISK LEVEL 3
- COP LFP TYPE 1
 COP LFP TYPE 2
 COP LFP TYPE 3

- CHECK ONE:
 - THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER THROTTLED ACTION PLAN (WTAP) IS REQUIRED.
 - THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
 - NOT APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE RFP OR SHPP, AS APPLICABLE.

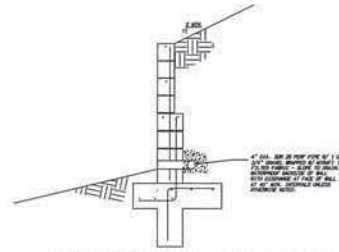




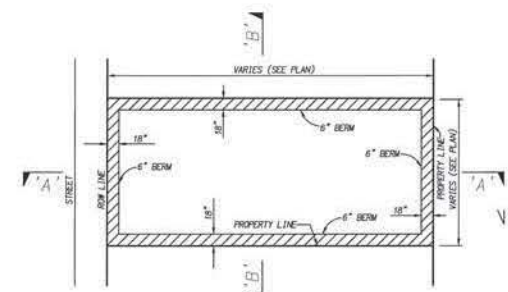
TYPICAL FRONT LOADED LOT GRADING - PVT
NO SCALE



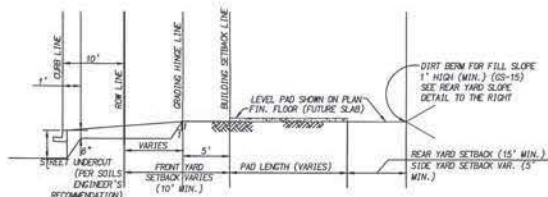
TYPICAL SIDE YARD PROPERTY LINE BERM AT SLOPE DETAIL - PVT
NO SCALE



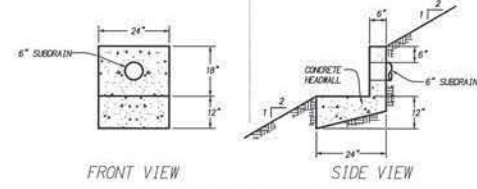
TYPICAL WALL SUBDRAIN



TYPICAL INTERIM LOT GRADING - PVT
NO SCALE



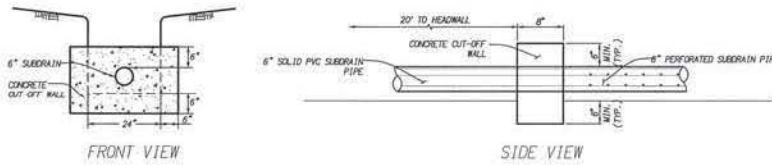
TYPICAL GRADING SECTION 'A-A' - PVT
NO SCALE



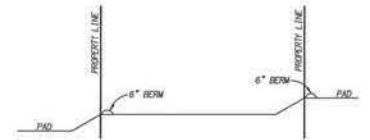
SUBDRAIN OUTLET HEADWALL DETAIL (PVT.)
NO SCALE



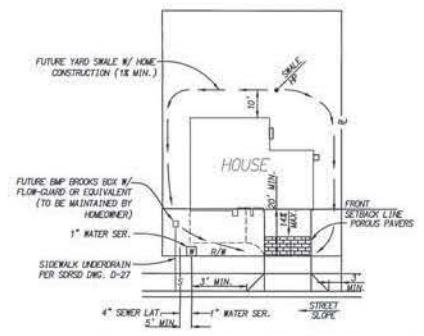
TYPICAL INTERIM LOT GRADING SECTION 'A-A' - PVT
NO SCALE



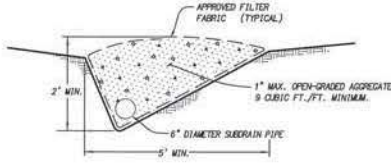
SUBDRAIN CUT-OFF DETAIL - PVT.
NO SCALE



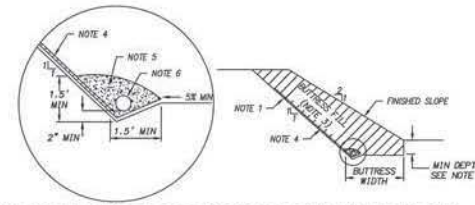
TYPICAL INTERIM LOT GRADING SECTION 'B-B' - PVT
NO SCALE



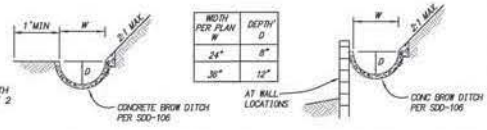
TYPICAL LOT DRAINAGE - PVT
NO SCALE



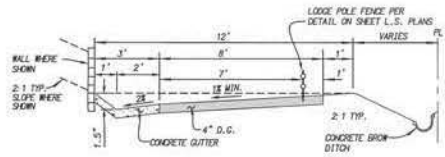
TYPICAL SUBDRAIN DETAIL - PVT.
NO SCALE



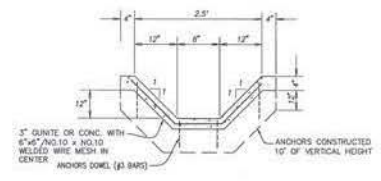
TYPICAL BUTTRESS/STABILITY FILL DETAIL
NO SCALE



MODIFIED CONCRETE BROW DITCH - PVT
NO SCALE



TYPICAL 12' PEDESTRIAN TRAIL W/ MODIFIED BROW DITCH - PVT
NO SCALE



DOWNDRAIN DETAIL
NOT TO SCALE

- NOTES:**
1. EXCAVATE BACKOUT AT 1:1 INCLINATION (UNLESS OTHERWISE NOTED).
 2. BASE OF BUTTRESS FILL TO BE 3 FEET INTO FORMATION MATERIAL OR 5 FEET BELOW BEARING PLANE SHEAR OR LANDSLIDE SLIP SURFACE SLOPING A MINIMUM 5% INTO SLOPE.
 3. BUTTRESS/STABILITY FILL TO BE COMPOSED OF PROPERLY COMPACTED GRANULAR SOIL.
 4. CHIMNEY DRAINS TO BE APPROVED PREFABRICATED CHIMNEY DRAIN PANELS (MINIMUM 2000 OR EQUIVALENT) SPACED APPROXIMATELY 20 FEET CENTER TO CENTER AND 4 FEET WIDE. CLOSER SPACING MAY BE REQUIRED IF SEEPAGE IS ENCOUNTERED.
 5. FILTER MATERIAL TO BE 3/4-INCH, OPEN GRADED CRUSHED ROCK ENCLOSED IN APPROVED FILTER FABRIC (WOMAT 1400C).
 6. COLLECTOR PIPE TO BE 4-INCH MINIMUM DIAMETER, PERFORATED, THICK-WALLED PVC SCHEDULE 40 OR EQUIVALENT, AND SLOPED TO DRAIN AT 1 PERCENT MINIMUM TO APPROVED OUTLET.

PRIVATE CONTRACT

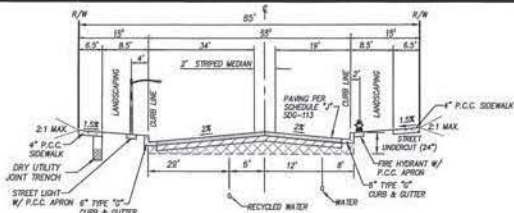
NOTES & DETAILS FOR: CASTLEROCK SOUTH PHASE I

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 114 SHEETS		I.D. NO. 2404857 PROJECT NO. 37872
DATE: 12/31/15	APPROVED: [Signature]	DATE: [Blank]
DESIGNED BY: GKP	FM REVIEW: GP	SURVEY REVIEW: [Blank]
AS-BUILT CONTRACTOR INSPECTOR: [Blank]	DATE STARTED: [Blank]	DATE COMPLETED: [Blank]
		1689-633 DCSL3 COORDINATES 246-1783 LAMBERT COORDINATES 38150-6-D

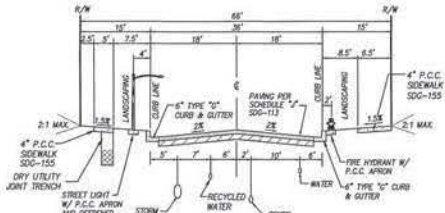
latitude 33
PLANNING & ENGINEERING
1400 W. 15th St., Suite 100
San Diego, CA 92101
Tel: 619.594.8800

C. JOHN EARDENSON
R.C.E. 34584

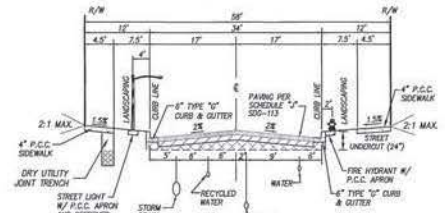
DATE: 12/03/15
REGISTRATION EXPIRES: 06/30/17



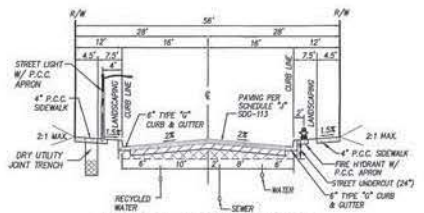
CLASSIFICATION: 2 LANE COLLECTOR STREET
CASTLEROCK ROAD (PUBLIC)
 (MAST BLVD. TO STA. 7+37)
 NO SCALE



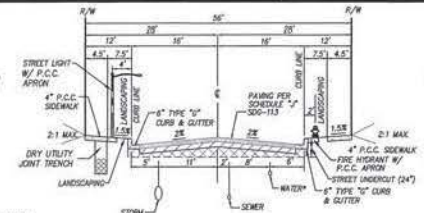
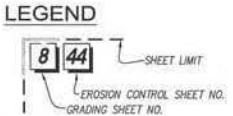
CLASSIFICATION: 2 LANE COLLECTOR STREET
CASTLEROCK ROAD (PUBLIC)
 (STA. 8+80 TO CELESTA DRIVE)
 NO SCALE



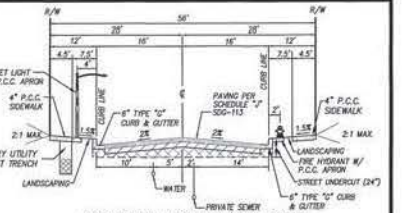
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CASTLEROCK ROAD (PUBLIC)
 (CELESTA DRIVE TO 31+46)
 NO SCALE



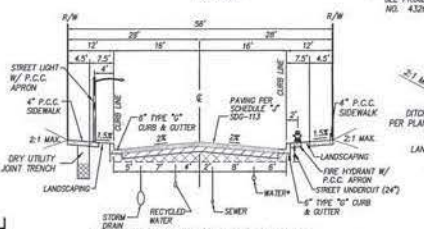
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CASTLEROCK ROAD (PUBLIC)
 (31+46 TO TRANCAS AVENUE)
 NO SCALE



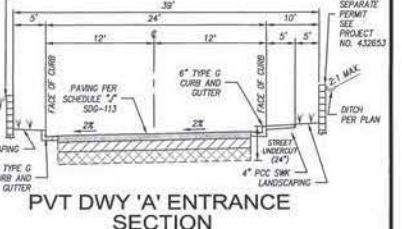
CLASSIFICATION: RESIDENTIAL/LOCAL STREET
CELESTA DRIVE (PUBLIC)
 NO SCALE



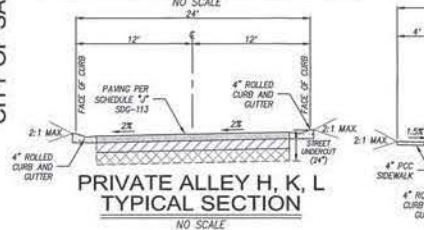
CLASSIFICATION: RESIDENTIAL/LOCAL STREET
TOYOPA COURT (PUBLIC)
 NO SCALE



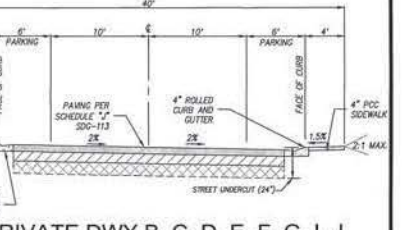
CLASSIFICATION: RESIDENTIAL/LOCAL STREET
TRANCAS AVENUE (PUBLIC)
 NO SCALE



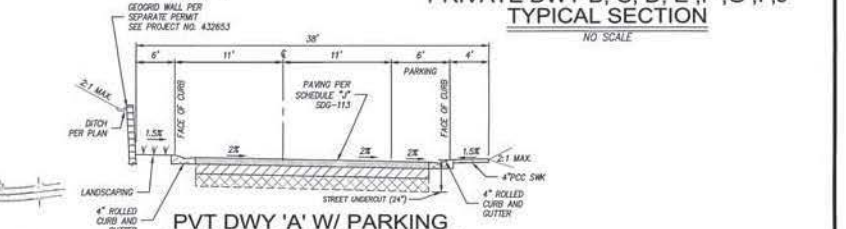
PVT DWY 'A' ENTRANCE SECTION
 NO SCALE



PRIVATE ALLEY H, K, L TYPICAL SECTION
 NO SCALE



PRIVATE DWY B, C, D, E, F, G, I, J TYPICAL SECTION
 NO SCALE



PVT DWY 'A' W/ PARKING (2+95 TO CASTLEROCK RD.) TYPICAL SECTION
 NO SCALE

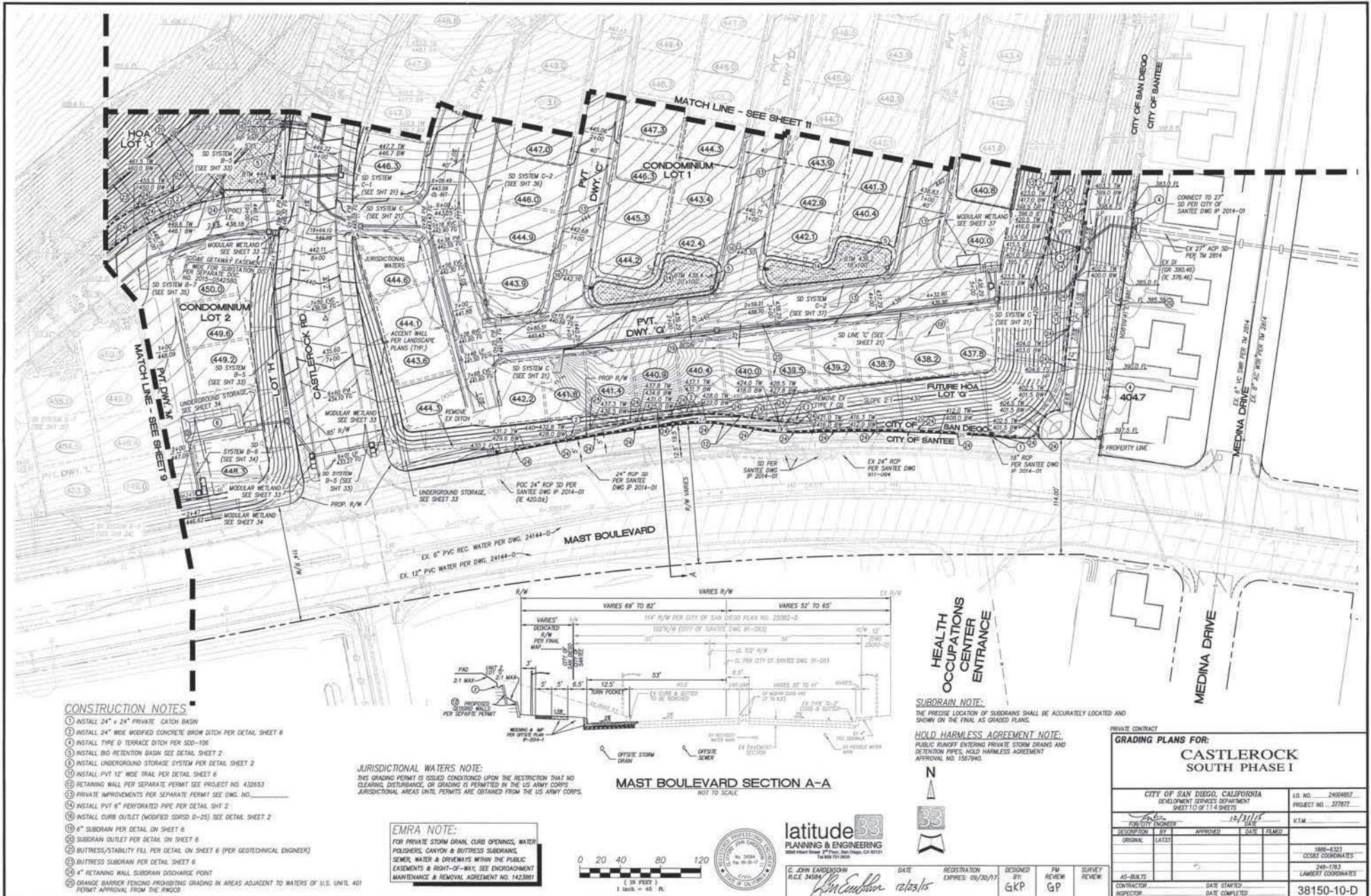
INDEX MAP
 SCALE: 1"=400'



latitude 33
 PLANNING & ENGINEERING
 1808 Village Street, #100, San Diego, CA 92108
 Tel: 619-594-1100

C. JOHN EARDENSON
 P.C.E. 34088
 DATE: 12/23/15
 REGISTRATION EXPIRES: 09/30/17
 DESIGNED BY: GRP
 PW REVIEW: GP
 SURVEY: _____

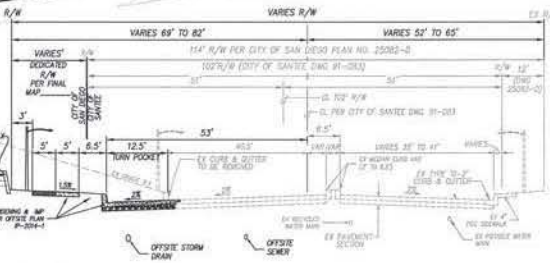
REVISION CONTRACT			
KEY MAP & STREET CROSS SECTIONS FOR: CASTLEROCK SOUTH PHASE I			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 7 OF 114 SHEETS		I.G. NO. 2400487 PROJECT NO. 37787	
FOR-CITY ENGINEER	DATE: 12/21/15	DATE	W.T.M.
DISCIPLINE	BY	APPROVED	DATE
ORIGINAL	LAT33		
AS-BUILT			
CONTRACTOR	DATE STARTED:		
INSPECTOR	DATE COMPLETED:		
			1889-8323 CCS23 COORDINATES 249-1763 LAMBERT COORDINATES
			38150-7-D



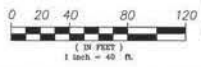
- CONSTRUCTION NOTES**
- INSTALL 24" x 24" PRIVATE CATCH BASIN
 - INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
 - INSTALL TYPE D TERRACE DITCH PER SDD-106
 - INSTALL BID RETENTION BASIN SEE DETAIL SHEET 2
 - INSTALL UNDERGROUND STORAGE SYSTEM PER DETAIL SHEET 2
 - INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
 - RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 42653
 - PRIVATE IMPROVEMENTS PER SEPARATE PERMIT SEE DWG. NO.
 - INSTALL PVT 6" PERFORATED PIPE PER DETAIL SH 2
 - INSTALL CURB OUTLET (MODIFIED SDDSD D-25) SEE DETAIL SHEET 2
 - 6" SUBORAN PER DETAIL ON SHEET 6
 - SUBORAN OUTLET PER DETAIL ON SHEET 6
 - BUTTRESS/STABILITY FILL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
 - BUTTRESS SUBORAN PER DETAIL SHEET 6
 - 4" RETAINING WALL SUBORAN DISCHARGE POINT
 - GRASS BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNTIL 401 PERMIT APPROVAL FROM THE PRINCE

JURISDICTIONAL WATERS NOTE:
 THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.

EMRA NOTE:
 FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POLISHERS, CANYON & BUTTRESS SUBORANS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCLOSUREMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423061



MAST BOULEVARD SECTION A-A
 NOT TO SCALE



HEALTH OCCUPATIONS CENTER ENTRANCE

SUBORAIN NOTE:
 THE PRECISE LOCATION OF SUBORAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.

HOLD HARMLESS AGREEMENT NOTE:
 PUBLIC RAINOFF ENTERING PRIVATE STORM DRAINS AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 156794.

latitude 33
 PLANNING & ENGINEERING
 3303 Street Street, 2nd Floor, San Diego, CA 92101
 TEL: 619.594.1000

E. JOHN ERIKSSON
 R.C.E. 34584

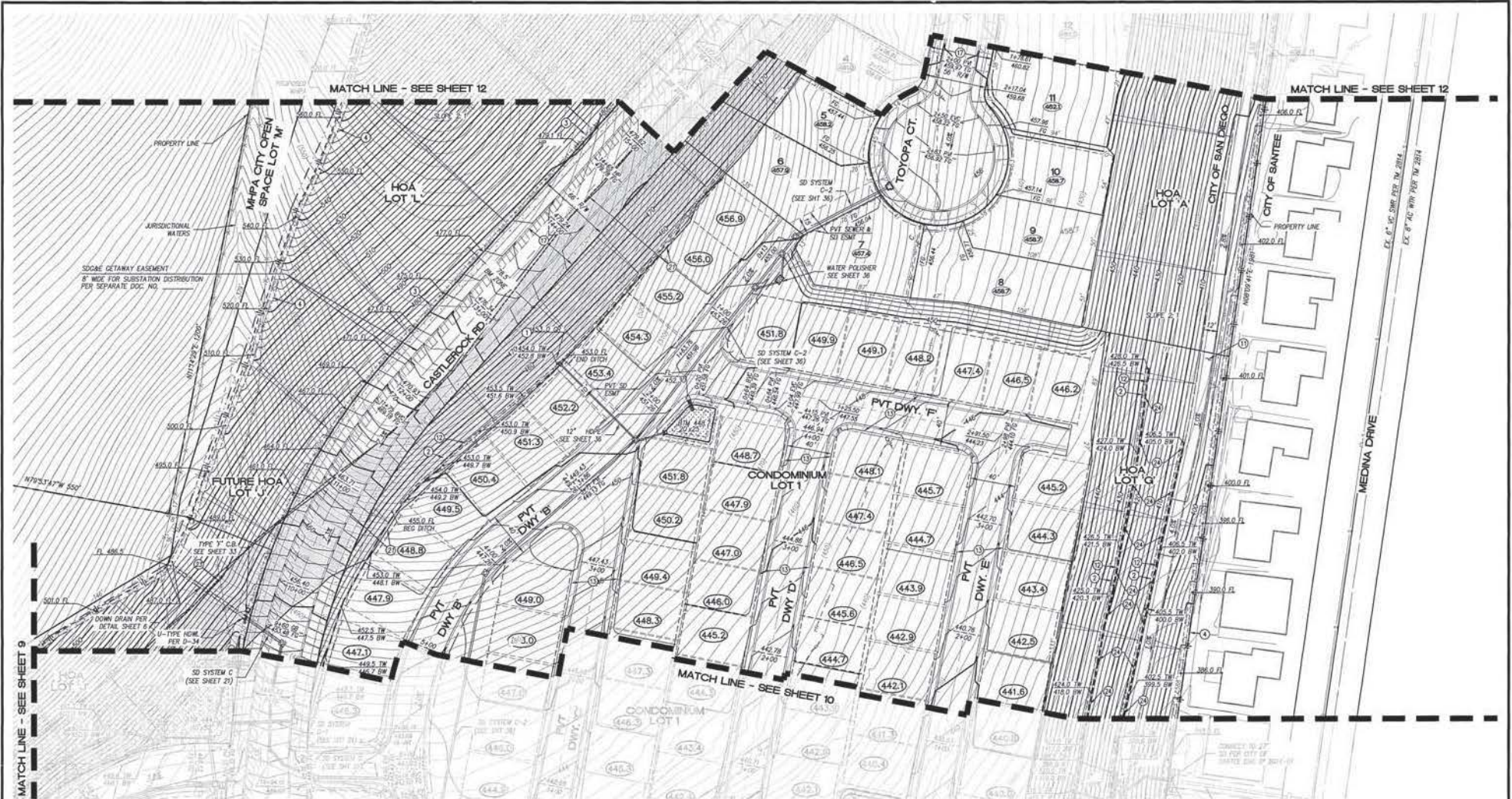
DATE: 12/13/15
 REGISTRATION EXPIRES: 09/20/17
 DESIGNED BY: GKP
 PM REVIEW: GP

PRIVATE CONTRACT

GRADING PLANS FOR:
CASTLEROCK SOUTH PHASE I

CITY OF SAN DIEGO, CALIFORNIA REVENUE SERVICES DEPARTMENT SHEET 10 OF 114 SHEETS		I.O. NO. 24004857 PROJECT NO. 377872
DATE: 12/13/15		V.T.M.
DESCRIPTION	BY	APPROVED
ORIGINAL	LAJ23	
AS-BUILT		
CONTRACTOR INSPECTOR	DATE STARTED	DATE COMPLETED
		38150-10-D

P:\1401\1401.DWG - CASTLEROCK CLERK, BRUNO\GIS\RENDERING\1401\1401.DWG (1401) SD GRAD-10-2016 12/09/2015 10:15:13 AM



CONSTRUCTION NOTES

- 1) INSTALL 24" x 24" PRIVATE CATCH BASIN
- 2) INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
- 3) INSTALL 30" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
- 4) INSTALL TYPE D TERRACE DITCH PER SDD-108
- 5) INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET B
- 6) RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 432653
- 7) PRIVATE IMPROVEMENTS PER SEPARATE PERMIT SEE DNG. NO. _____
- 8) PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DNG 38434-D
- 9) BUTTRESS/STABILITY FILL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
- 10) BUTTRESS SUBDRAIN PER DETAIL SHEET 6
- 11) 4" RETAINING WALL SUBDRAIN DISCHARGE POINT

SUBDRAIN NOTE:

THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.

HOLD HARMLESS AGREEMENT NOTE:

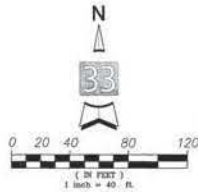
PUBLIC RIGHTWAY EXISTING PRIVATE SEWERS, GRASSES AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 1567940.

EMRA NOTE:

FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POLISHERS, GUYTON & BUTTRESS SUBDRAINS, SENSER, WATER & DRAINWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423091

JURISDICTIONAL WATERS NOTE:

THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.



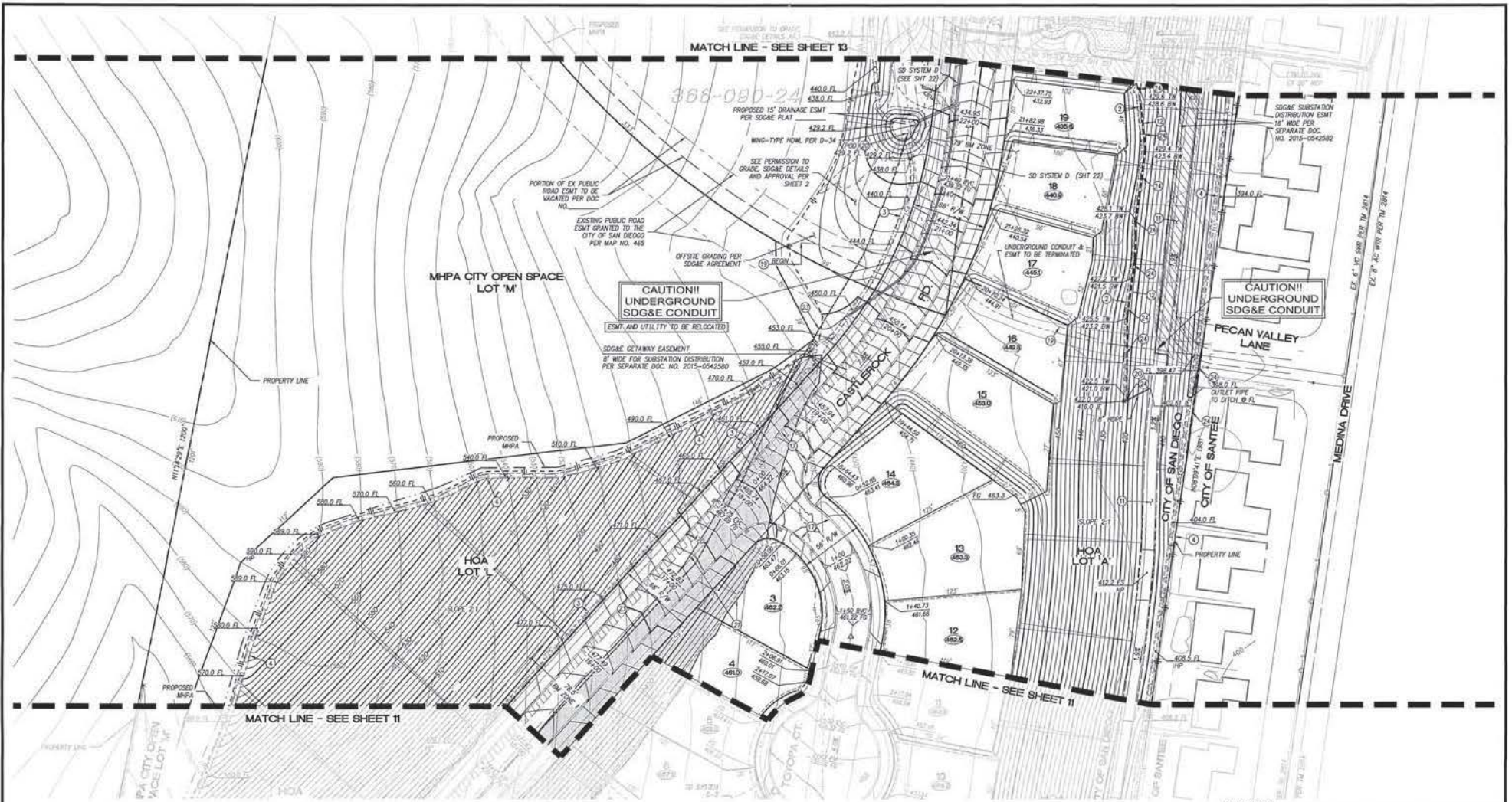
latitude 33
PLANNING & ENGINEERING
9000 North River Street, Suite 200, San Diego, CA 92121
Tel: 619.592.0833

C. JOHN EARDENSON
R.C.E. 34884
DATE: 10/23/15
REGISTRATION EXPIRES: 06/30/17
DESIGNED BY: GKP
PM REVIEW: GP
SURVEY REVIEW:

PRIVATE CONTRACT

**GRADING PLANS FOR:
CASTLEROCK
SOUTH PHASE I**

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 11 OF 114 SHEETS			I.G. NO. 2404857 PROJECT NO. 378877
FOR CITY OF SAN DIEGO DATE: 10/23/15			V.T.M.
DESCRIPTION	BY	APPROVED	DATE (MM/DD)
ORIGINAL	LA123		
AS-BUILT			
CONTRACTOR		DATE STARTED	38150-11-D
INSPECTOR		DATE COMPLETED	



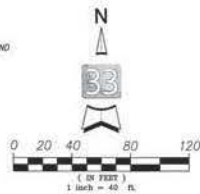
CONSTRUCTION NOTES

- 1. INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
- 2. INSTALL 36" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
- 3. INSTALL TYPE D TERRACE DITCH PER SDD-106
- 4. INSTALL PVI 12" WIDE TRAIL PER DETAIL SHEET 6
- 5. RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 430653
- 6. PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG 38434-D
- 7. 8" SUBDRAIN PER DETAIL ON SHEET 6
- 8. SUBDRAIN OUTLET PER DETAIL ON SHEET 6
- 9. BUTTRESS/STABILITY WALL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
- 10. BUTTRESS SUBDRAIN PER DETAIL SHEET 6
- 11. 4" RETAINING WALL SUBDRAIN DISCHARGE POINT

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 1567940.

SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.

EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POUCHES, CANYON & BUTTRESS SUBDRAINS, SEWER, WATER & OVERWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423861



latitude 33
PLANNING & ENGINEERING
8660 Hight Street, 2nd Floor, San Diego, CA 92131
Tel: 619-591-2525

C. JOHN ERDENSCHN R.C.E. 34564	DATE 12/23/15	REGISTRATION EXPIRES: 09/30/17	DESIGNED BY GKP	IN REVIEW GP	SURVEY REVIEW
-----------------------------------	------------------	-----------------------------------	--------------------	-----------------	---------------

PRIVATE CONTRACT					
GRADING PLANS FOR:					
CASTLEROCK SOUTH PHASE I					
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 12 OF 114 SHEETS				I.D. NO.	24004807
PROJECT NO.				377877	
DATE 12/21/15				DATE	
APPROVED				DATE	
ORIGINAL (A123)				DATE	
				DATE	
				DATE	
				DATE	
CONTRACTOR				DATE STARTED	
INSPECTOR				DATE COMPLETED	
					38150-12-D
JOB NO. 1400.00					

MATCH LINE - SEE SHEET 14

MHPA CITY OPEN SPACE LOT 'N' PER FINAL MAP

EXISTING SDGE SUBSTATION NOT A PART

CAUTION!!
EXIST. SDG&E
OVERHEAD
POWER LINES &
EASEMENT

CAUTION!!
UNDERGROUND
SDG&E CONDUIT

MATCH LINE - SEE SHEET 12

MHPA CITY OPEN SPACE LOT 'M' PER FINAL MAP

MATCH LINE - SEE SHEET 12

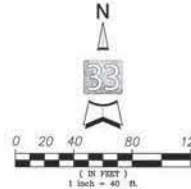


CONSTRUCTION NOTES

- 1) INSTALL 36" WIDE MODIFIED CONCRETE BRIM DITCH PER DETAIL SHEET 8
- 2) INSTALL TYPE D TERRACE DITCH PER SDG-106
- 3) INSTALL BMD RETENTION BASIN SEE DETAIL SHEET 2
- 4) INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
- 5) INSTALL CURB OUTLET (MODIFIED SDRD D-25) SEE DETAIL SHEET 2
- 6) PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DNG 38434-0
- 7) 6" SUBDRAIN PER DETAIL ON SHEET 6
- 8) SUBDRAIN OUTLET PER DETAIL ON SHEET 6
- 9) BUTTRESS/STABILITY FILL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
- 10) BUTTRESS SUBDRAIN PER DETAIL SHEET 6

JURISDICTIONAL WATERS NOTE:

THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.



EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POLISHERS, CANYON & BUTTRESS SUBDRAINS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCLOSURE MAINTENANCE & REMOVAL AGREEMENT NO. 1423861

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 1423743

SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADDED PLANS.

latitude 33
PLANNING & ENGINEERING
3908 Hart Street, San Diego, CA 92131
TEL: 619.570.2833

C. JOHN EARDENSON
R.C.E. 34584

DATE: 12/13/15
REGISTRATION: 09/20/17
DESIGNED BY: GKP
FM REVIEW: GP

PRIVATE CONTRACT

GRADING PLANS FOR:
CASTLEROCK SOUTH PHASE I

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1.3 OF 11.4 SHEETS

CITY OF SAN DIEGO
DATE: 12/11/15

DESCRIPTION	BY	APPROVED	DATE	REVISION
ORIGINAL	LAT33			

AS-BUILTS

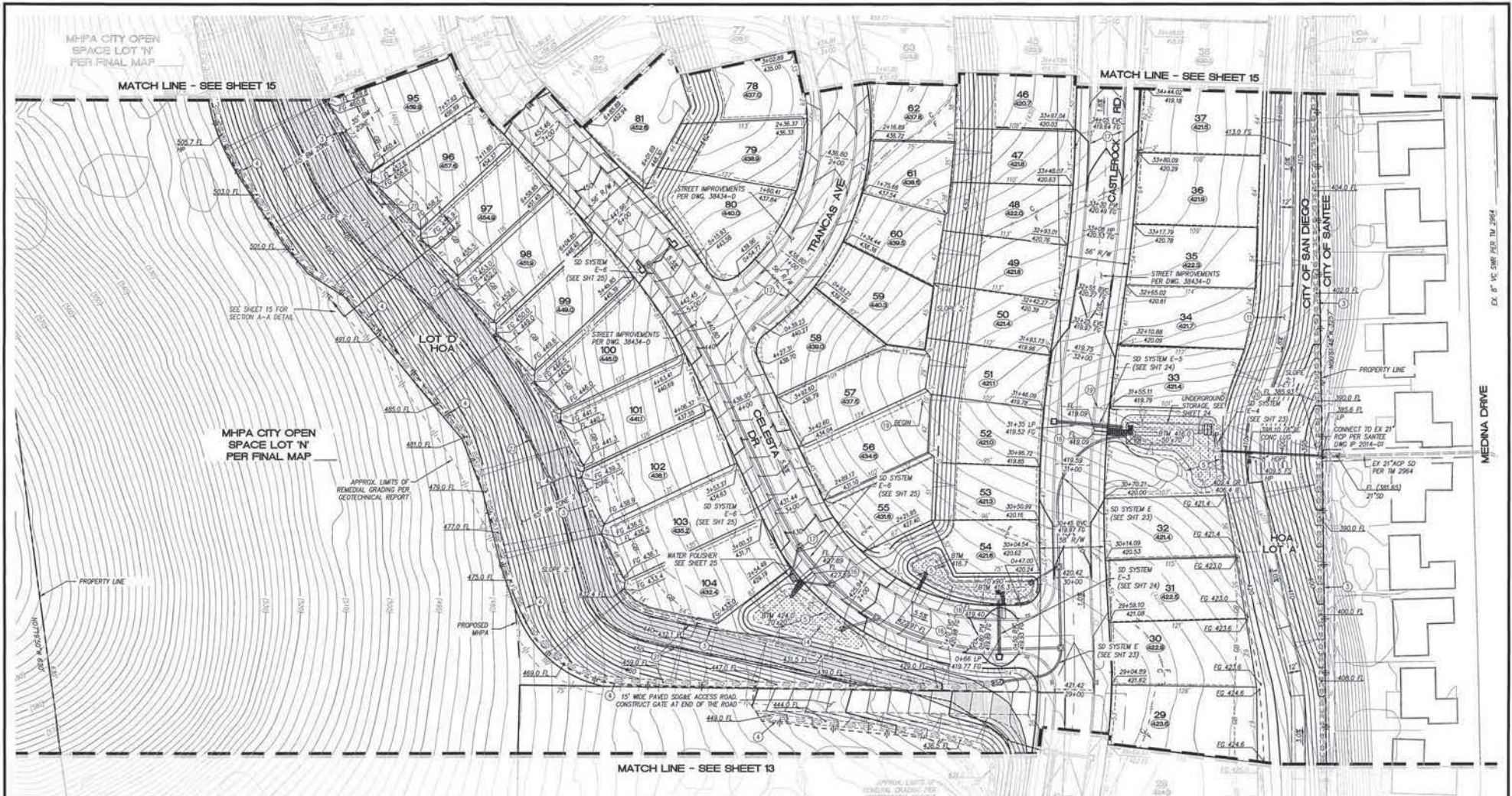
CONTRACTOR: DATE STARTED: 248-1783
INSPECTOR: DATE COMPLETED: 38150-13-D

CO. NO. 240082
PROJECT NO. 37787

1888-6323
CCS&S COORDINATES

248-1783
LAMBERTY COORDINATES

JOB NO. 1400.00

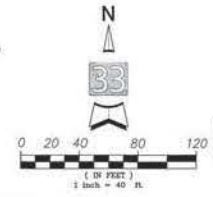


- CONSTRUCTION NOTES**
- 1) INSTALL 36" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
 - 2) INSTALL TYPE D TERRACE DITCH PER SSD-106
 - 3) INSTALL BIO RETENTION BASIN SEE DETAIL SHEET 2
 - 4) INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
 - 5) INSTALL PVT 6" PERFORATED PIPE PER DETAIL SHT 2
 - 6) INSTALL CURB OUTLET (MODIFIED SORSO D-25) SEE DETAIL SHEET 2
 - 7) PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG 38434-D
 - 8) 6" SUBDRAIN PER DETAIL ON SHEET 6
 - 9) SUBDRAIN OUTLET PER DETAIL ON SHEET 6
 - 10) BUTTRISS/STABILITY FILL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
 - 11) BUTTRISS SUBDRAIN PER DETAIL SHEET 6

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINAGE AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 1567940.

SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.

EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER PULSHERS, CANYON & BUTTRISS SUBDRAINS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1432861



latitude 33
PLANNING & ENGINEERING
1800-6123
C.S. & G.S. COORDINATES
LAMBERT COORDINATES

C. JOHN EARDENSOHN
R.C.E. 34564

DATE: 1/4/15
REGISTRATION EXPIRES: 06/30/17

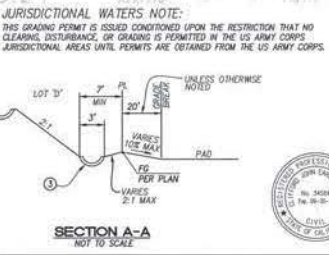
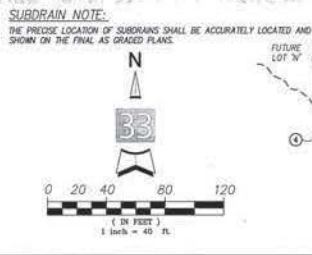
DESIGNED BY: GRP
PM REVIEW: GP

SURVEY REVIEW:

PRIVATE CONTRACT		I.O. NO. 24004852	
GRADING PLANS FOR:		PROJECT NO. 37877	
CASTLEROCK SOUTH PHASE I			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 14 OF 114 SHEETS		1/4/15	
DESIGNED BY	APPROVED	DATE	FIELD
ORIGINAL	(LATS)		
45-BUILT			
CONTRACTOR	DATE STARTED		
INSPECTOR	DATE COMPLETED		
			38150-14-D
JOB NO. 1400.00			



- CONSTRUCTION NOTES**
- INSTALL 36" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
 - INSTALL TYPE D TERRACE DITCH PER 300-106
 - INSTALL BID RETENTION BASIN SEE DETAIL SHEET 2
 - INSTALL UNDERGROUND STORAGE SYSTEM PER DETAIL SHEET 2
 - INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
 - RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 43063
 - INSTALL CURB OUTLET (MODIFIED SENSO D-25) SEE DETAIL SHEET 2
 - PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG 38434-D
 - 8" SUBDRAIN PER DETAIL ON SHEET 6
 - SUBDRAIN OUTLET PER DETAIL ON SHEET 6
 - BUTTRISS/STABILITY FILL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
 - 8" BUTTRISS SUBDRAIN PER DETAIL SHEET 6
 - 4" RETAINING WALL SUBDRAIN DISCHARGE POINT
 - ORANGE BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNTIL 401 PERMIT APPROVAL FROM THE PRODCB



EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POLISHERS, CANYON & BUTTRISS SUBDRAINS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423801.

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RIGHTOF ENTRYING PRIVATE STORM DRAINS AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 1567940.

latitude 33
PLANNING & ENGINEERING
9000 Revere Street, Suite 200, San Diego, CA 92121
Tel: 619.591.1100

C. JOHN EARDENSON
R.C.E. 34584

DATE: 10/21/15
REGISTRATION EXPIRES: 09/30/17
DESIGNED BY: GKP
PM REVIEW: GP

GRADING PLANS FOR: CASTLEROCK SOUTH PHASE I

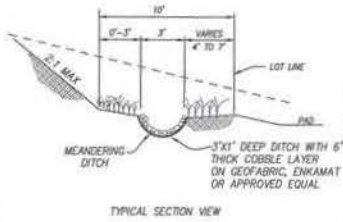
CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 15 OF 114 SHEETS

10/21/15

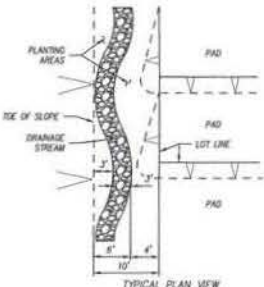
DESCRIPTION	REV	APPROVED	DATE	REVISION
ORIGINAL	LAT33			

1689-633
CORSY COORDINATES
248-783
LAMBERT COORDINATES

CONTRACTOR: AS-BUILD
INSPECTOR: DATE STARTED: DATE COMPLETED: 38150-15-D

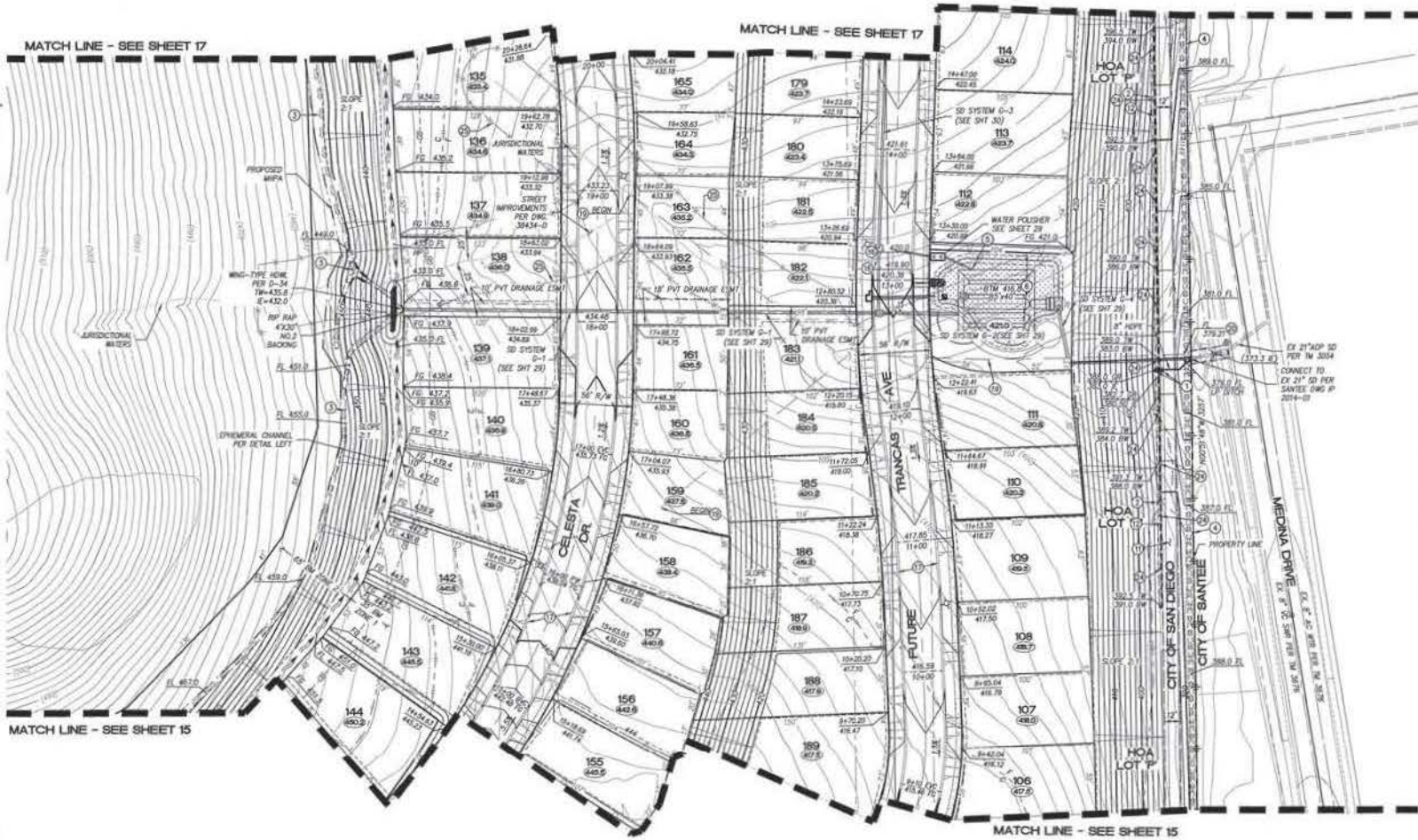


TYPICAL SECTION VIEW



**MEANDERING
EPHEMERAL CHANNEL**

NOT TO SCALE

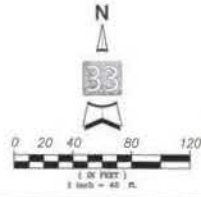


JURISDICTIONAL WATERS NOTE:
THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.

- CONSTRUCTION NOTES**
- INSTALL 24" x 24" PRIVATE CATCH BASIN
 - INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET #
 - INSTALL 36" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET #
 - INSTALL TYPE II TERRACE DITCH PER 302-108
 - INSTALL 180 RETENTION BASIN SEE DETAIL SHEET 2
 - INSTALL UNDERGROUND STORAGE SYSTEM PER DETAIL SHEET 2
 - INSTALL PVT 12" WIRE PER DETAIL SHEET #
 - RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 42383
 - INSTALL CURB OUTLET (MODIFIED SCHED D-2) SEE DETAIL SHEET 2
 - PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG 30434-D
 - SUBDRAIN PER DETAIL ON SHEET #
 - SUBDRAIN OUTLET PER DETAIL ON SHEET #
 - 4" RETAINING WALL SUBDRAIN DISCHARGE POINT
 - GRADE BARREN FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNTIL 401 PERMIT APPROVAL FROM THE RMDCB

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC REPORT ENTERING PRIVATE STORM DRAIN AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 150799A

EMRA NOTE:
FOR PRIVATE STORM DRAIN (SEWER OPENINGS, WATER FOLDERS, CANYON & BUTTRESS SUBDRAINS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC CASSEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1432381



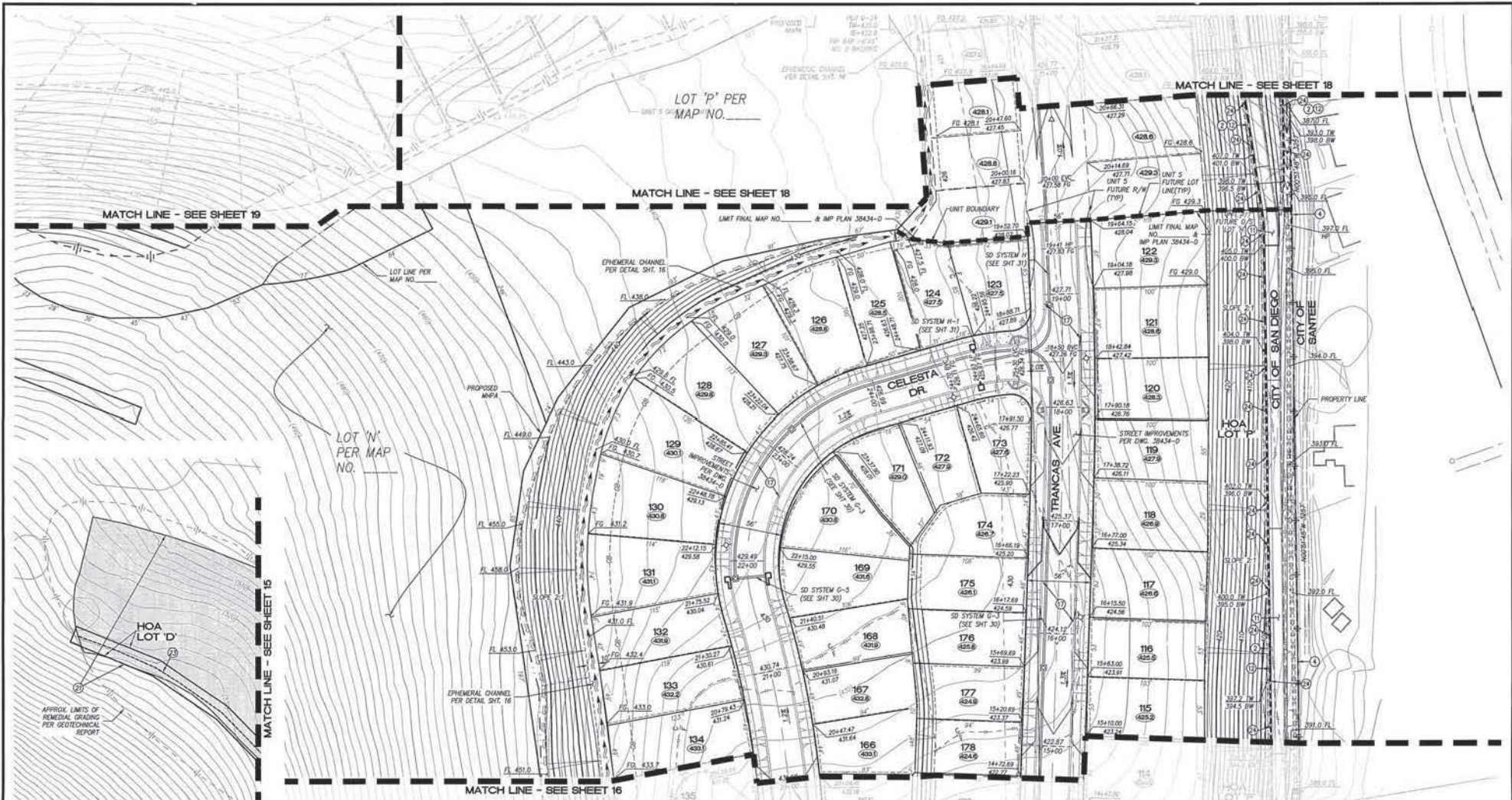
SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.



latitude 33
PLANNING & ENGINEERING
6000 La Jolla Village Drive, #1700, San Diego, CA 92121
Tel: 619.792.0000

C. JOHN EARDINGTON R.C.E. 34584	DATE 12/1/17	REGISTRATION EXPIRES: 02/28/17	DESIGNED BY GKP	PM REVIEW GP	SURVEY REVIEW
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PRIVATE CONTRACT		GRADING PLANS FOR:	
		CASTLEROCK SOUTH PHASE I	
CITY OF SAN DIEGO CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 16 OF 114 SHEETS		10. NO. ... 280082 ...	PROJECT NO. ... 37787 ...
DESIGNED BY GKP	APPROVED DATE 12/1/17	SCALE AS-BUILT	VT&R
CONTRACTOR GKP	DATE STARTED	DATE COMPLETED	1809-4321 0253 COORDINATES 240-1763 LAMBERT COORDINATES 38150-16-D



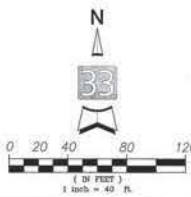
CONSTRUCTION NOTES

1. INSTALL 24" WIDE WOODFROE CONCRETE BROW DITCH PER DETAIL SHEET 6
2. INSTALL TYPE D TERRACE DITCH PER 500-106
3. INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
4. RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 432653
5. PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG 38434-D
6. BUTTRESS/STABILITY FILL PER DETAIL ON SHEET 6 (PER GEOTECHNICAL ENGINEER)
7. BUTTRESS SUBDRAIN PER DETAIL SHEET 6
8. 4" RETAINING WALL SUBDRAIN DISCHARGE POINT

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 1567946.

EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POLISHERS, CANYON & BUTTRESS SUBDRAINS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423861

SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.

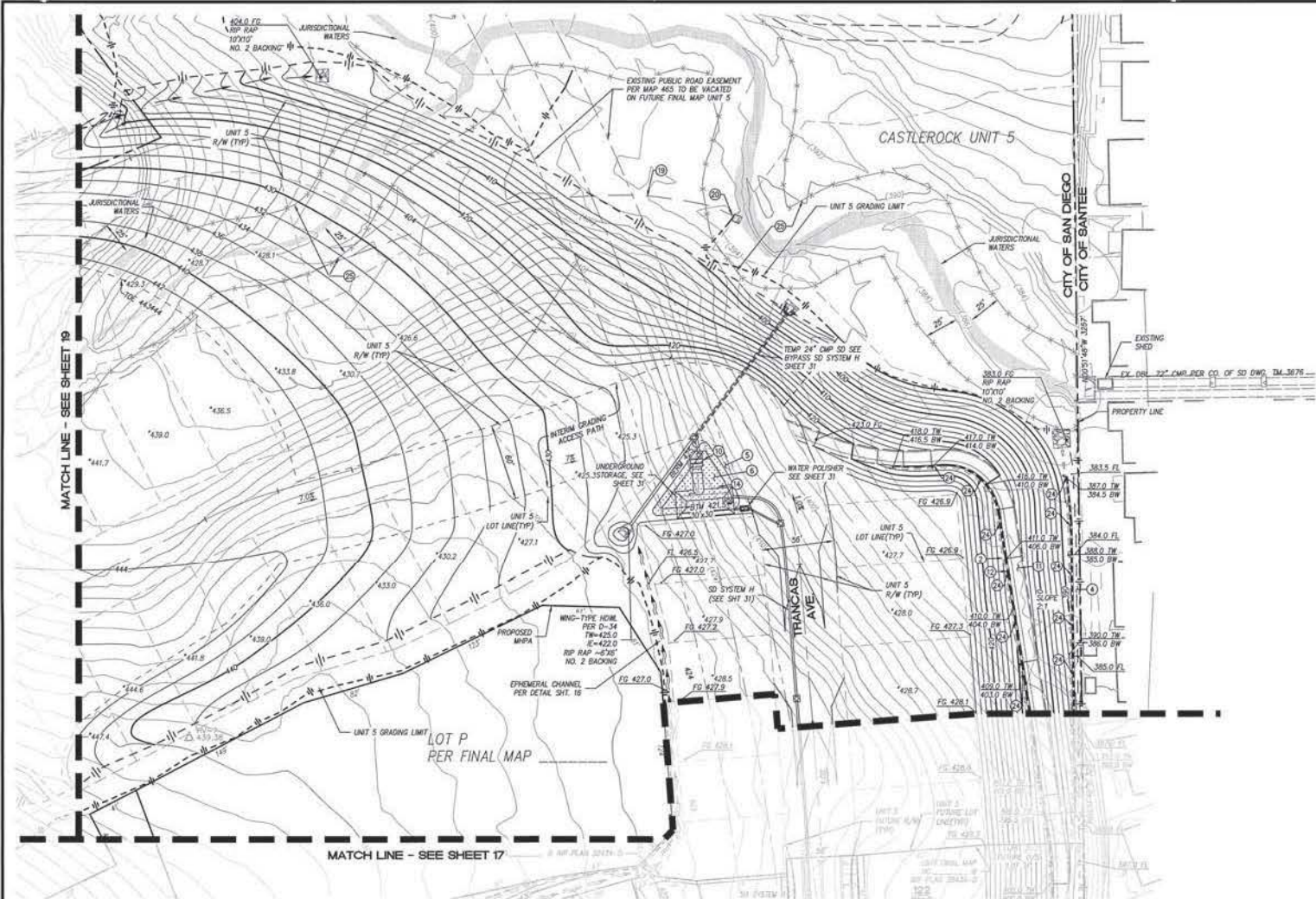


latitude 33
PLANNING & ENGINEERING
9880 Robert Street, #700, San Diego, CA 92128
94.985.1000

C. JOHN EARDENSON
R.C.E. 34584

DATE: 12/22/2015
REGISTRATION EXPIRES: 09/30/17
DESIGNED BY: GKP
CHECKED BY: GP
DATE STARTED: [blank]
DATE COMPLETED: [blank]

GRADING PLANS FOR:				I.G. NO. 2409857	
CASTLEROCK SOUTH PHASE I				PROJECT NO. 37877	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 17 OF 114 SHEETS				V.T.M.	
DESCRIPTION	BY	APPROVED	DATE	FILED	
ORIGINAL	LAT33		12/22/15		
AS-BUILT					
CONTRACTOR INSPECTOR				DATE STARTED	
				DATE COMPLETED	
				1888-4523 CORS COORDINATES	
				248-1763 LAMBERT COORDINATES	
				38150-17-D	



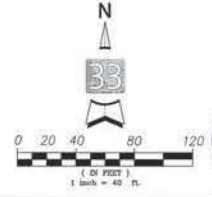
- CONSTRUCTION NOTES**
- 1. INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 0
 - 2. INSTALL TYPE D TERRACE DITCH PER SDD-106
 - 3. INSTALL BIO RETENTION BASIN SEE DETAIL SHEET 2
 - 4. INSTALL UNDERGROUND STORAGE SYSTEM PER DETAIL SHEET 2
 - 5. INSTALL PVT SD CLEANSUIT PER SDDSD D-09
 - 6. INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
 - 7. RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 432853
 - 8. INSTALL PVT 4" PERFORATED PIPE PER DETAIL SHT 2
 - 9. 8" SUBDRAIN PER DETAIL ON SHEET 8
 - 10. SUBDRAIN OUTLET PER DETAIL ON SHEET 6
 - 11. 4" RETAINING WALL SUBDRAIN DISCHARGE POINT
 - 12. ORANGE BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNIT 401 PERMIT APPROVAL FROM THE RWOCB

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS AND DETENTION PIPES, HOLD HARMLESS AGREEMENT APPROVAL NO. 156749D.

EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER PULSHERS, CANYON & BUTTRESS SUBDRAINS, SEWER, WATER & DRIVEWAYS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423081

JURISDICTIONAL WATERS NOTE:
THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.

SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.



latitude 33
PLANNING & ENGINEERING
9008 Mission Street, Suite 200, San Diego, CA 92161
TEL: 619.751.0853

C. JOHN EARDENSON
R.C.E. 34584

DATE: 12/31/15
REGISTRATION: 09/30/17
DESIGNED BY: GKP
FM REVIEW: GKP
SURVEY REVIEW:

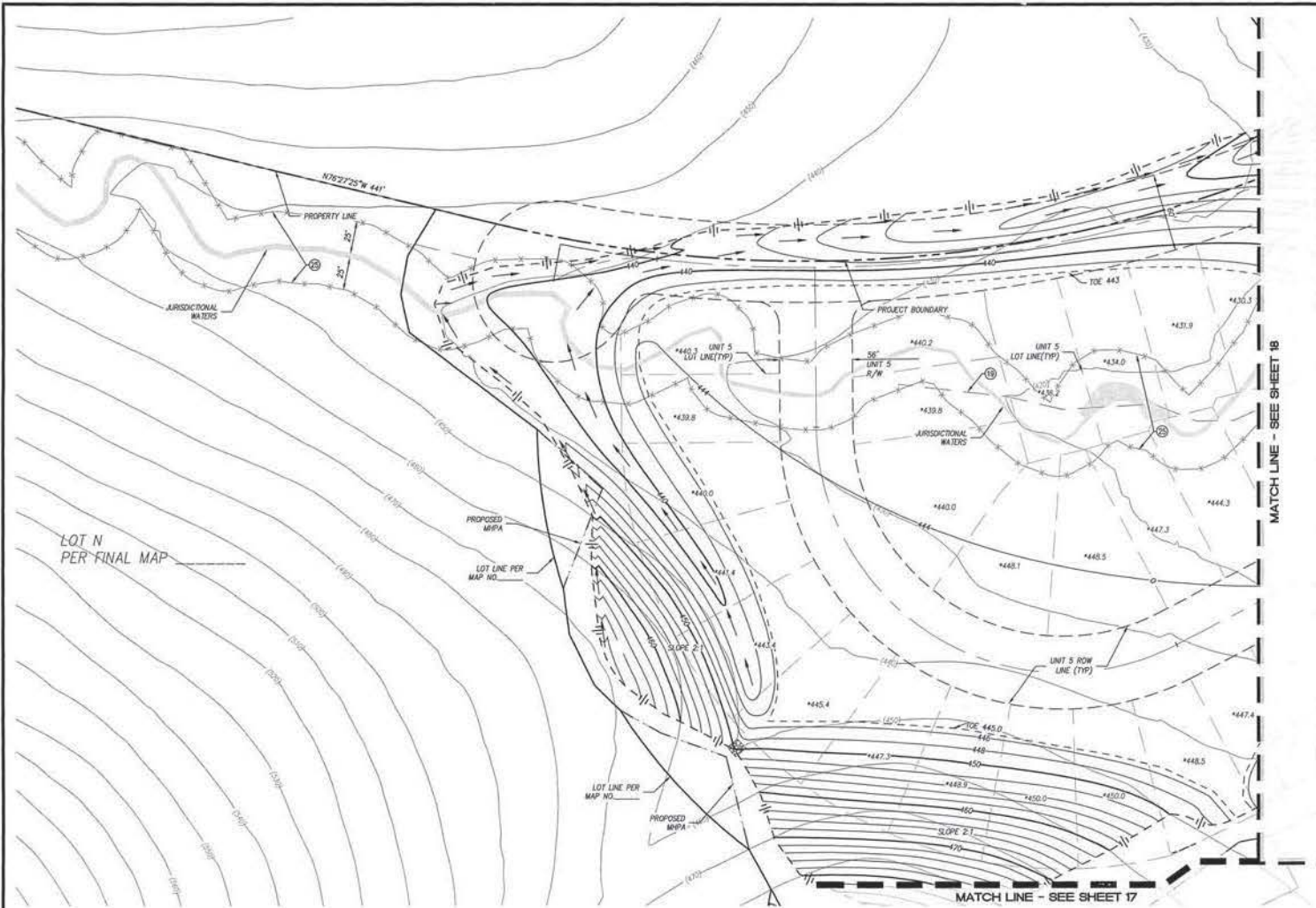
NOTE:
• UNIT 5 CASTLEROCK PAD ELEVATION

PRIVATE CONTRACT

GRADING PLANS FOR:
CASTLEROCK SOUTH PHASE I

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 15 OF 114 SHEETS		LG. NO. 2404857 PROJECT NO. 377877
FOR CITY ENGINEER	DATE: 12/31/15	V.T.W.
DESCRIPTION	BY	APPROVED
ORIGINAL	LATE3	
AS-BUILT		
CONTRACTOR: DATE STARTED: DATE COMPLETED:		1988-4333 CORS COORDINATES 248-1763 LAMBERT COORDINATES
		38150-18-D

JOB NO. 1400.00



MATCH LINE - SEE SHEET 18

CONSTRUCTION NOTES
 (1) 6" SUBDRAIN PER DETAIL ON SHEET 6
 (2) ORANGE BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNITS. SEE PERMIT APPROVAL FROM THE RWCCD

MATCH LINE - SEE SHEET 17

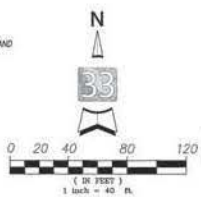
NOTE:
 * UNIT 5 CASTLEROCK PAD ELEVATION

HOLD HARMLESS AGREEMENT NOTE:
 PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS AND DETENTION PIPES. HOLD HARMLESS AGREEMENT APPROVAL NO. 1567946.

SUBDRAIN NOTE:
 THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.

EMRA NOTE:
 FOR PRIVATE STORM DRAIN, CURB OPENINGS, WATER POLUTIONS, CANYON & BUTTRESS SUBDRAINS, SCHER, WATER & DOWNSLOWS WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1423861

JURISDICTIONAL WATERS NOTE:
 THIS DRAWING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE U.S. ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE U.S. ARMY CORPS.



latitude 33
 PLANNING & ENGINEERING
 3888 Hazard Street, #2000, San Diego, CA 92131
 Tel: 619.763.0663

C. JOHN EARDENSON
 R.C.E. 34384
 DATE: 10/20/15
 REGISTRATION EXPIRES: 09/30/17
 DESIGNED BY: GKP
 PM REVIEW: GP
 SURVEY REVIEW:

PRIVATE CONTRACT

GRADING PLANS FOR:
CASTLEROCK SOUTH PHASE I

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 119 OF 114 SHEETS		I.G. NO. 24054857 PROJECT NO. 377877
DESIGNER	DATE	FILED
ORIGINAL	10/20/15	
AS-BUILTS		
CONTRACTOR:	DATE STARTED:	38150-19-D
INSPECTOR:	DATE COMPLETED:	

1888-6323
 CDS&T COORDINATOR
 248-1783
 LAMBERT COORDINATOR

PERMANENT POST-CONSTRUCTION BMP NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMOMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- PERMANENT POST-CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES:** DESILTING BASINS, DIVERSION DITCHES, DOWNSPURS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING:** POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

SDG&E PERMISSION TO GRADE AND CONSTRUCT IMPROVEMENTS

SAN DIEGO GAS & ELECTRIC PERMISSION TO GRADE AND CONSTRUCT IMPROVEMENTS PERMISSION IS HEREBY GRANTED TO PARADE HOMES (PERMITTEE), TO GRADE AND CONSTRUCT IMPROVEMENTS AS SHOWN ON THESE PLANS WITH SAN DIEGO GAS & ELECTRIC COMPANY'S (SOG&E) SUBJECT TO THE FOLLOWING CONDITIONS:

- SUBMITTALS:**
 - PERMITTEE AGREES TO SUPPLY SOG&E WITH "AS BUILT" GRADING, IMPROVEMENT AND PROFILE PLANS TO SOG&E SPECIFICATIONS, IF REQUESTED.
 - PERMITTEE AGREES TO SUBMIT FOR REVIEW AND APPROVAL A BLASTING PLAN PRIOR TO BLASTING, IF BLASTING IS REQUIRED.
- PRE-CONSTRUCTION MEETINGS:** SOG&E'S LAND MANAGEMENT REPRESENTATIVE (LMR) MUST BE INVITED WITH AT LEAST THREE (3) WORKING DAYS PRIOR NOTICE.
- GRADING:**
 - AT LEAST TWENTY-FOUR (24) HOURS NOTICE MUST BE GIVEN TO SOG&E'S LMR BEFORE START OF WORK.
 - FIELD CHANGES TO PLANS WITHIN SAID EASEMENT SHALL BE APPROVED IN WRITING BY SOG&E LMR.
 - PERMITTEE IS RESPONSIBLE TO CALL DIG ALERT AT 1-800-227-2600 FOR ALL UNDERGROUND MARK-OUT LOCATIONS.
 - CLEARANCE OF (35) FEET MINIMUM BETWEEN THE SOG&E ELECTRIC TRANSMISSION WIRES AND THE NATURAL GROUND SHALL BE MAINTAINED ON ANY GIVEN DAY, NOTING LINE SAGS VARY DEPENDING ON AMBIENT TEMPERATURE AND LINE CURRENT. ALL REQUIREMENTS, INCLUDING BUT NOT LIMITED TO OSHA, CAL-OSHA, ANDS, INGS, AND NEC FOR CLEARANCES WHEN WORKING AROUND ENERGIZED ELECTRICAL FACILITIES MUST BE MAINTAINED.
 - NO GRADING SHALL BE ALLOWED WITHIN TEN (10) FEET OF A SINGLE WOOD POLE STRUCTURE OR ANCHOR, WITHIN FIFTEEN (15) FEET OF MULTI-WOOD POLES, WITHIN THIRTY (30) FEET OF STEEL LATTICE TOWERS OR WITHIN THIRTY (30) FEET OF STEEL POLES.
 - SOG&E RESERVES THE RIGHT TO INSPECT AND PERFORM QUALITY CONTROL WORK DURING CONSTRUCTION.
- SPECIAL CONDITIONS:** N/A
- EROSION CONTROL:**
 - ALL DISTURBED AND CREATED SLOPES, WITHIN THE SOG&E TRANSMISSION EASEMENT, SHALL BE HERD-SEEDED OR PLANTED BY PERMITTEE WITH AN SOG&E APPROVED MIX.
 - ALL DRAINAGE SHALL BE DESIGNED TO PREVENT EROSION OF SOG&E EASEMENT AND ACCESS ROADS.

PRIVATE NOTE

ALL ONSITE PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

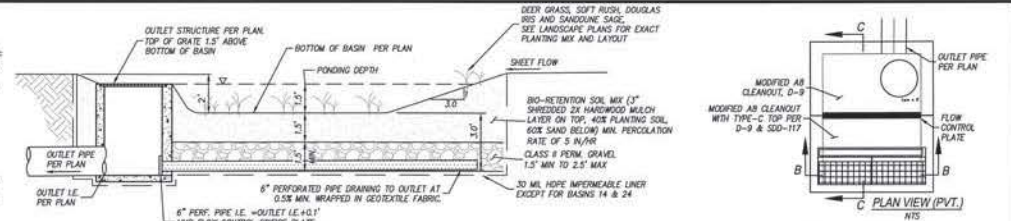
GROUND WATER DISCHARGE NOTES

- ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2007-0004 NPDES CAG019002.
- THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.
- ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO. 89-2007-0004 NPDES CAG019002.

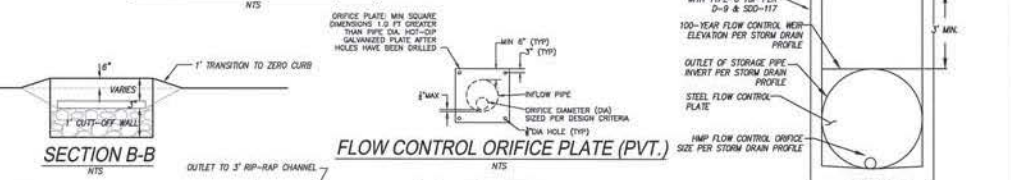
STORM WATER PROTECTION NOTES

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. 2009-0009-00, AS MODIFIED BY ORDER NO. 2010-0014-006, AND RISK LEVEL/TYPE. CHECK THE BELOW:
 - MWP
 - COP RISK LEVEL 1
 - COP RISK LEVEL 2
 - COP RISK LEVEL 3
 - COP LIP TYPE 1
 - COP LIP TYPE 2
 - COP LIP TYPE 3

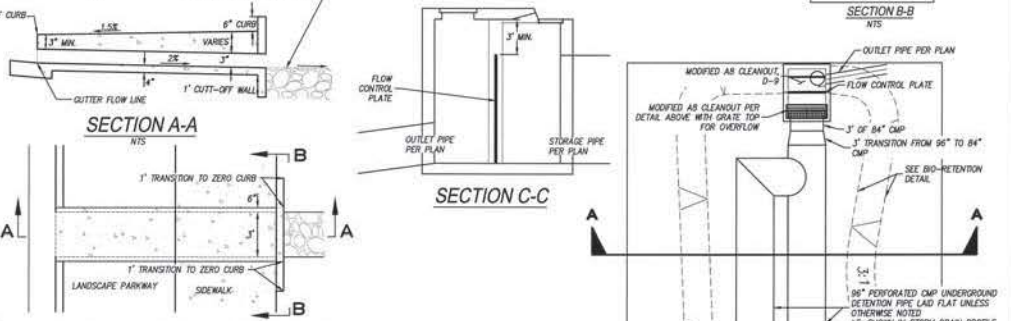
- CHECK ONE:**
 - THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAAP) IS REQUIRED.
 - THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
 - NOT APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE MWP OR SWPPP, AS APPLICABLE.



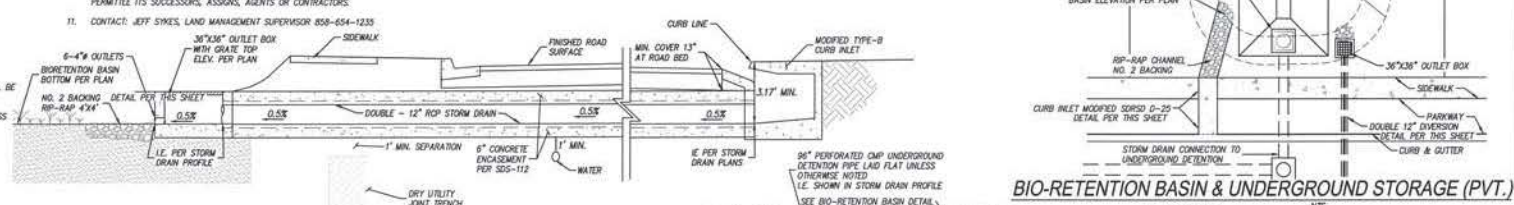
BIO-RETENTION BASIN (PVT.)



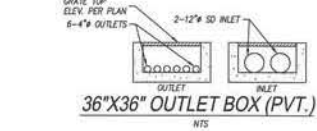
FLOW CONTROL ORIFICE PLATE (PVT.)



3' CURB OPENING (MODIFIED D-25) (PVT.)



DOUBLE 12" DIVERSION (PVT.)



36"X36" OUTLET BOX (PVT.)

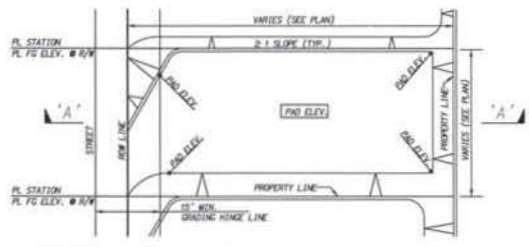
*SEE SHEET 7 FOR POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS



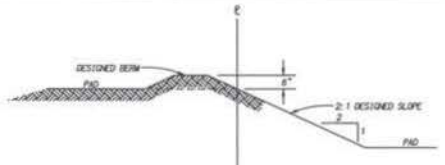
latitude B3
PLANNING & ENGINEERING
2000 West Street, Suite 200, San Diego, CA 92101
Tel: 619.721.0823

C. JOHN EARDONSON
R.C.E. 34584
DATE: 2/6/16
REGISTRATION EXPIRES: 09/30/17
DESIGNED BY: OXP
PW REVIEW: GP

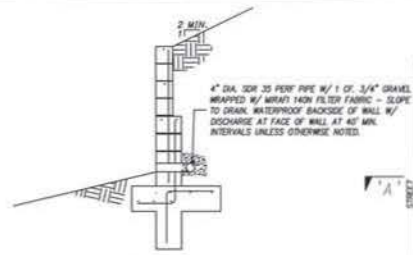
PRIVATE CONTRACT			
NOTES AND DRAINAGE DETAILS FOR: CASTLEROCK PHASE II UNIT 5 MAP NO.			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 53 SHEETS		I.O. NO. 2405892-0 PROJECT NO. 427031	KTM: 100466
FOR CITY ENGINEER	APPROVED	DATE	FILED
ORIGINAL (L4133)		2/11/16	
1888-6323			
02583			
248-1783			
LAMBERT			
AS-BUILT			
CONTRACTOR	DATE STARTED		
INSPECTOR	DATE COMPLETED		
			38921-2 -D



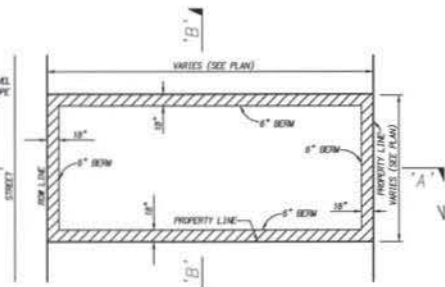
TYPICAL FRONT LOADED LOT GRADING - PVT
NO SCALE



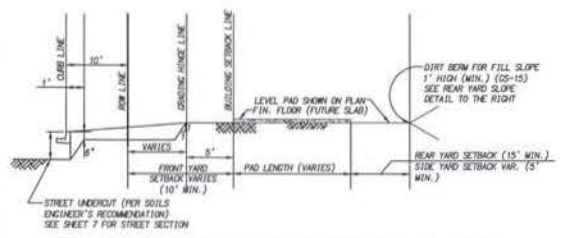
TYPICAL SIDE YARD PROPERTY LINE BERM AT SLOPE DETAIL - PVT
NO SCALE



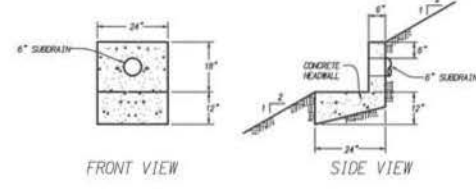
TYPICAL WALL SUBDRAIN (PVT.)



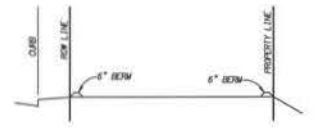
TYPICAL INTERIM LOT GRADING - PVT
NO SCALE



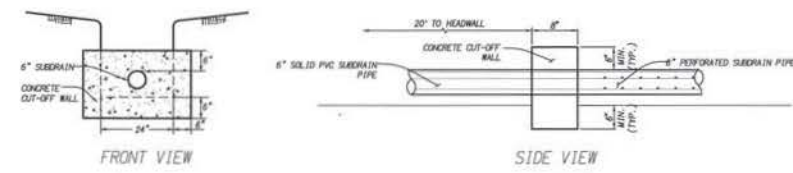
TYPICAL GRADING SECTION 'A-A' - PVT
NO SCALE



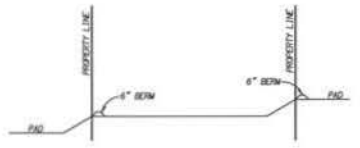
SUBDRAIN OUTLET HEADWALL DETAIL (PVT.)
NO SCALE



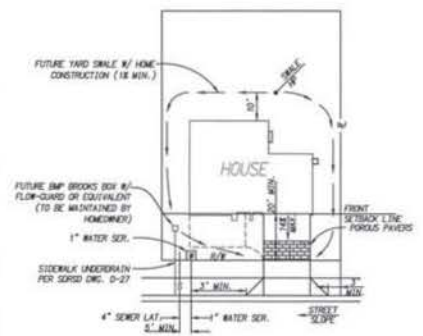
TYPICAL INTERIM LOT GRADING SECTION 'A-A' - PVT
NO SCALE



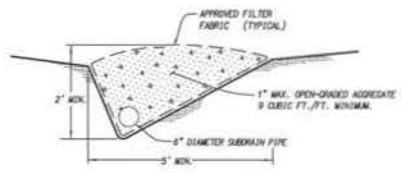
SUBDRAIN CUT-OFF DETAIL - PVT.
NO SCALE



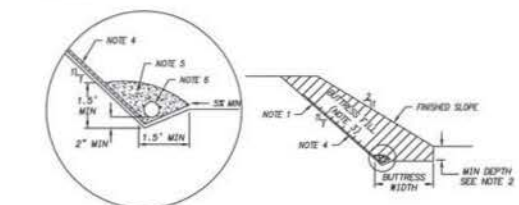
TYPICAL INTERIM LOT GRADING SECTION 'B-B' - PVT
NO SCALE



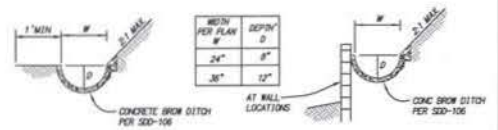
TYPICAL LOT DRAINAGE - PVT
NO SCALE



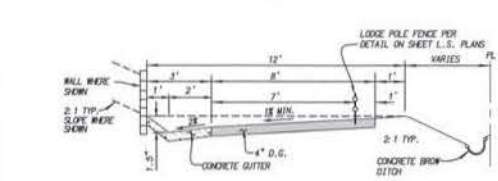
TYPICAL SUBDRAIN DETAIL - PVT.
NO SCALE



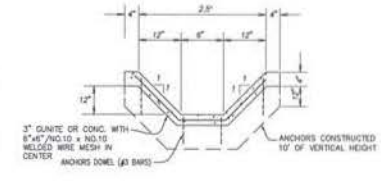
TYPICAL BUTTRESS/STABILITY FILL DETAIL
NO SCALE



MODIFIED CONCRETE BROW DITCH - PVT
NO SCALE



TYPICAL 12' PEDESTRIAN TRAIL W/ MODIFIED BROW DITCH - PVT
NO SCALE



DOWNDRAIN DETAIL
NOT TO SCALE

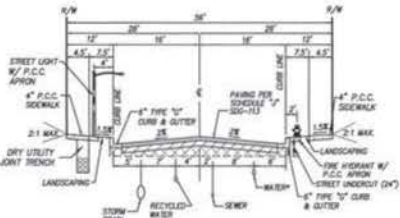
- NOTES:**
- EXCAVATE BACKFILL AT 1:1 (MAX. INCLINATION) (UNLESS OTHERWISE NOTED).
 - BASE OF BUTTRESS FILL TO BE 3 FEET INTO FORMATIONAL MATERIAL, OR 5 FEET BELOW RESIDING PLANE SHEAR OR LANDSLIDE SLIP SURFACE SLOPING A MINIMUM 8% INTO SLOPE.
 - BUTTRESS/STABILITY FILL TO BE COMPOSED OF PROPERLY COMPACTED GRANULAR SOIL.
 - CHIMNEY DRAINS TO BE APPROVED PREFABRICATED CHIMNEY DRAIN PANELS (MIRADRAIN 2200V OR EQUIVALENT) SPACED APPROXIMATELY 30 FEET CENTER TO CENTER AND 4 FEET WIDE. CLOSER SPACING MAY BE FABRICATED IF SETBACK IS ENCOUNTERED.
 - FILTER MATERIAL TO BE 3/4-INCH, OPEN GRADED CRUSHED ROCK ENCLOSED IN APPROVED FILTER FABRIC (MIRAF 1400G).
 - COLLECTOR PIPE TO BE 4-INCH MINIMUM DIAMETER, PERFORATED, THICK-WALLED PVC SCHEDULE 40 OR EQUIVALENT, AND SLOPED TO DRAIN AT 1 PERCENT MINIMUM TO APPROVED OUTLET.

PRIVATE CONTRACT			
TYPICAL GRADING DETAILS FOR:			
CASTLEROCK PHASE II UNIT 5 MAP NO.			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 55 SHEETS		LOG NO. 246992D	PROJECT NO. 42763
DESIGNED BY	APPROVED	DATE	FILED
FOR CITY ENGINEER		2/11/18	
ORIGINAL	LATEST		
AS-BUILTS			
CONTRACTOR	DATE STARTED		
INSPECTOR	DATE COMPLETED		
			1888-0323 COSET COORDINATES
			240-1763 LAMBERT COORDINATES
			38921-6-D

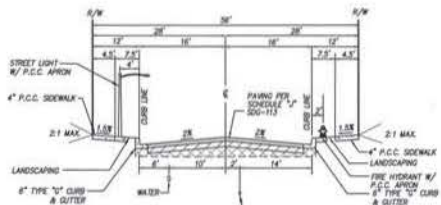


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PLANNING & ENGINEERING
9880 Hillcrest Street, 2nd Floor, San Diego, CA 92121
760.488.0100

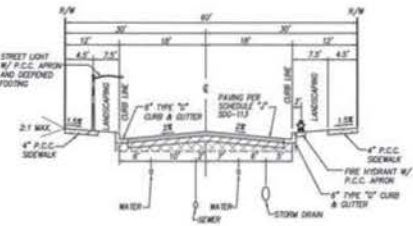
C. JOHN CARROLLSON
R.C.E. JASSO
DATE 2/5/18
REGISTRATION EXPIRES 09/30/17
DESIGNED BY GKP
PW REVIEW OP
SURVEY REVIEW



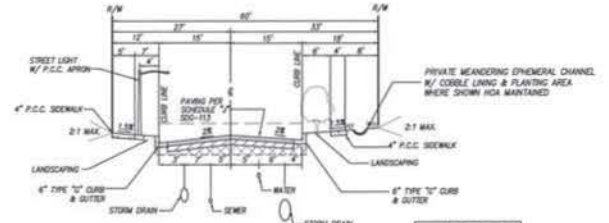
CLASSIFICATION: RESIDENTIAL / LOCAL STREET
TRANCAS AVENUE (PUBLIC)
 NO SCALE



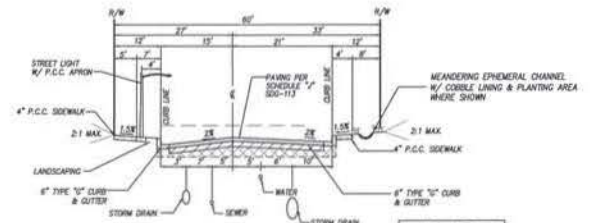
CLASSIFICATION: RESIDENTIAL / LOCAL STREET
AMADOR PLACE (PUBLIC)
 NO SCALE



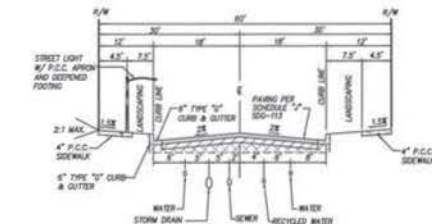
CLASSIFICATION: COLLECTOR / LOCAL STREET
VISTAMOUNT WAY - NORTH SECTION (PUBLIC)
 STATIONS: 3+20-13+00
 NO SCALE



CLASSIFICATION: RESIDENTIAL / LOCAL STREET
 WITH PARKING ONE SIDE ONLY
TRANCAS AVENUE 60' R/W (W/ TREE POPOUT) (PUBLIC)
 STATIONS: 3+40-33+28, 32+23-31+40, 30+92-30+08, 29+60-28+75
 NO SCALE



CLASSIFICATION: RESIDENTIAL / LOCAL STREET
 WITH PARKING BOTH SIDE
TRANCAS AVENUE 60' R/W (W/O TREE POPOUT) (PUBLIC)
 STATIONS: 33+28-32+23, 31+40-30+32, 30+08-29+60, 28+75-28+50
 NO SCALE



CLASSIFICATION: COLLECTOR / LOCAL STREET
VISTAMOUNT WAY - SOUTH SECTION (PUBLIC)
 STATIONS: 0+50-3+20
 NO SCALE



INDEX MAP
 SCALE: 1"=200'

LEGEND



POST-CONSTRUCTION PERMANENT BMP OPERATION & MAINTENANCE PROCEDURE DETAILS

STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.: 1505253
 DAM RESPONSIBLE PARTY DESIGN: PAULDE/MDA

BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	SHEET NUMBER(S)
INLET STENCILING / TILING	EVERY 6 MONTHS	ANNUAL	REPAIR OR REPLACE TILE AS NEEDED	9	8, 9, 10 & 11
BIORETENTION BASIN	EVERY 6 MONTHS	ANNUAL	REMOVE MULCH, TRASH AND DEBRIS FROM BASIN. EVALUATE PLANT HEALTH, REPLACE AS NEEDED.	4	8 & 10
HMP UNDERGROUND DETENTION	EVERY 6 MONTHS	ANNUAL	INSPECT HMP OFFICE, REMOVE TRASH AND DEBRIS	3	8 & 10
WATER POLISHER (WP-4-8-8-8)	BEFORE DURING & AFTER STORMS	ANNUAL	VAC TRUCK	1	10
WATER POLISHER (WP-4-6.5-7Z)	BEFORE DURING & AFTER STORMS	ANNUAL	VAC TRUCK	3	8 & 10

KEY MAP & STREET SECTIONS FOR:

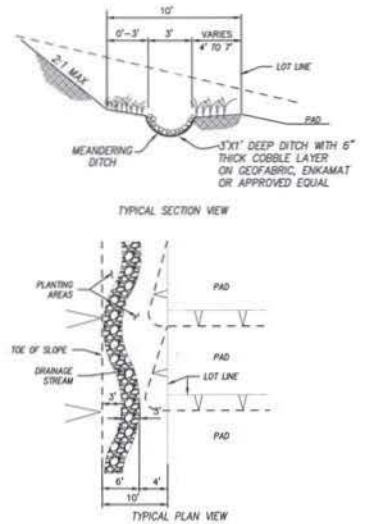
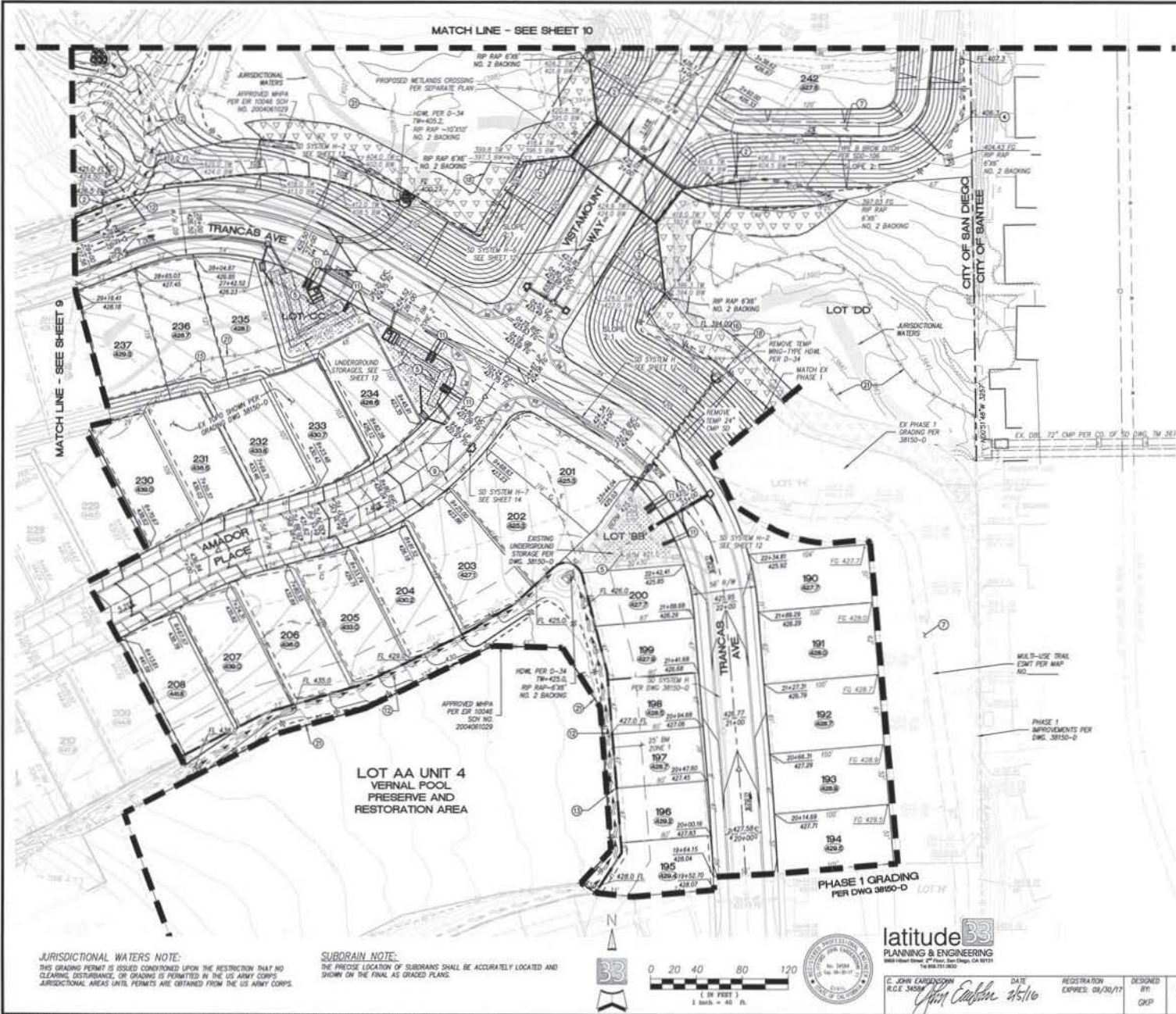
CASTLEROCK PHASE II UNIT 5 MAP NO.

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 7 OF 55 SHEETS		I.G. NO. 2400520 PROJECT NO. 4270R
FOR CITY ENGINEER		V.T.N. 100468
DESIGNED BY	APPROVED DATE	1088-033 DSSJ COORDINATES
ORIGINAL 1/13/11		248-1763 LAMBERT COORDINATES
AS-BUILTS	DATE STARTED	38921-7-D
CONTRACTOR	DATE COMPLETED	



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 PLANNING & ENGINEERING
 8888 Hovland Drive, 2nd Floor, San Diego, CA 92121
 Tel: 619.571.0889

C. JOHN EARGOCHSON R.C.E. 34584	DATE 2/5/16	REGISTRATION EXPIRES: 09/30/17	DESIGNED BY DKP	IN REVIEW GP	SURVEY REVIEW
------------------------------------	----------------	-----------------------------------	--------------------	-----------------	---------------



**PRIVATE MEANDERING
EPHEMERAL CHANNEL**
NOT TO SCALE

CONSTRUCTION NOTES

- 1. INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
- 2. INSTALL TYPE 0 TERRACE BASH PER SDG-108
- 3. INSTALL 60 RETENTION BASH PER DETAIL SHEET 2
- 4. INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
- 5. PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG. 38822-0
- 6. INSTALL CURB OPENINGS (MODIFIED SDGSD 0-25) SEE DETAIL SHEET 2
- 7. PRIVATELY MAINTAINED EPHEMERAL CHANNEL PER DETAIL SHEET 6
- 8. 4" HIGH 1-HR FIRE RATED WALL PER SEPARATE PLAN
- 9. 4" SUBDRAIN PER DETAIL ON SHEET 6
- 10. SUBDRAIN OUTLET PER DETAIL ON SHEET 6
- 11. ESTIMATED LIMITS OF REMEDIAL GRADING BEYOND TOE OF FILL SLOPES
- 12. GRANGE BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNTIL 401 PERMIT APPROVAL FROM THE PRODCO

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAIN,
HOLD HARMLESS AGREEMENT APPROVAL NO. 156966.

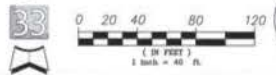
EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS,
DRAINAGE DITCH ON TRANCAS AVE, CANYON &
BUTTRISS SUBDRAINS, SANDY WATER, DRIVENAYS,
EPHEMERAL CHANNELS, LANDSCAPE & IRRIGATION
WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY,
SEE ENCROACHMENT MAINTENANCE & REMOVAL
AGREEMENT NO. 1505432

PRIVATE CONTRACT

GRADING PLANS FOR:				
CASTLEROCK PHASE II UNIT 5 MAP NO.				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 8 OF 55 SHEETS			AG. NO. 2400020 PROJECT NO. 42359	
DATE: 2/11/16	BY: [Signature]	DATE: 2/11/16	U.T.M. 1004668	
DESCRIPTION: ORIGINAL	BY: LATX3	APPROVED: [Signature]	DATE: [Blank]	
DESIGNED BY: GKP	DATE: 2/5/16	REGISTERED: 01/30/17	DESIGNED BY: GKP	
PM REVIEW: GP	DATE STARTED: [Blank]	DATE COMPLETED: [Blank]	CONTRACTOR: [Blank]	
SURVEY REVIEW: [Blank]	38921-8-D		INSPECTOR: [Blank]	

JURISDICTIONAL WATERS NOTE:
THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO
CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS
JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.

SUBDRAIN NOTE:
THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND
SHOWN ON THE FINAL AS GRACED PLANS.

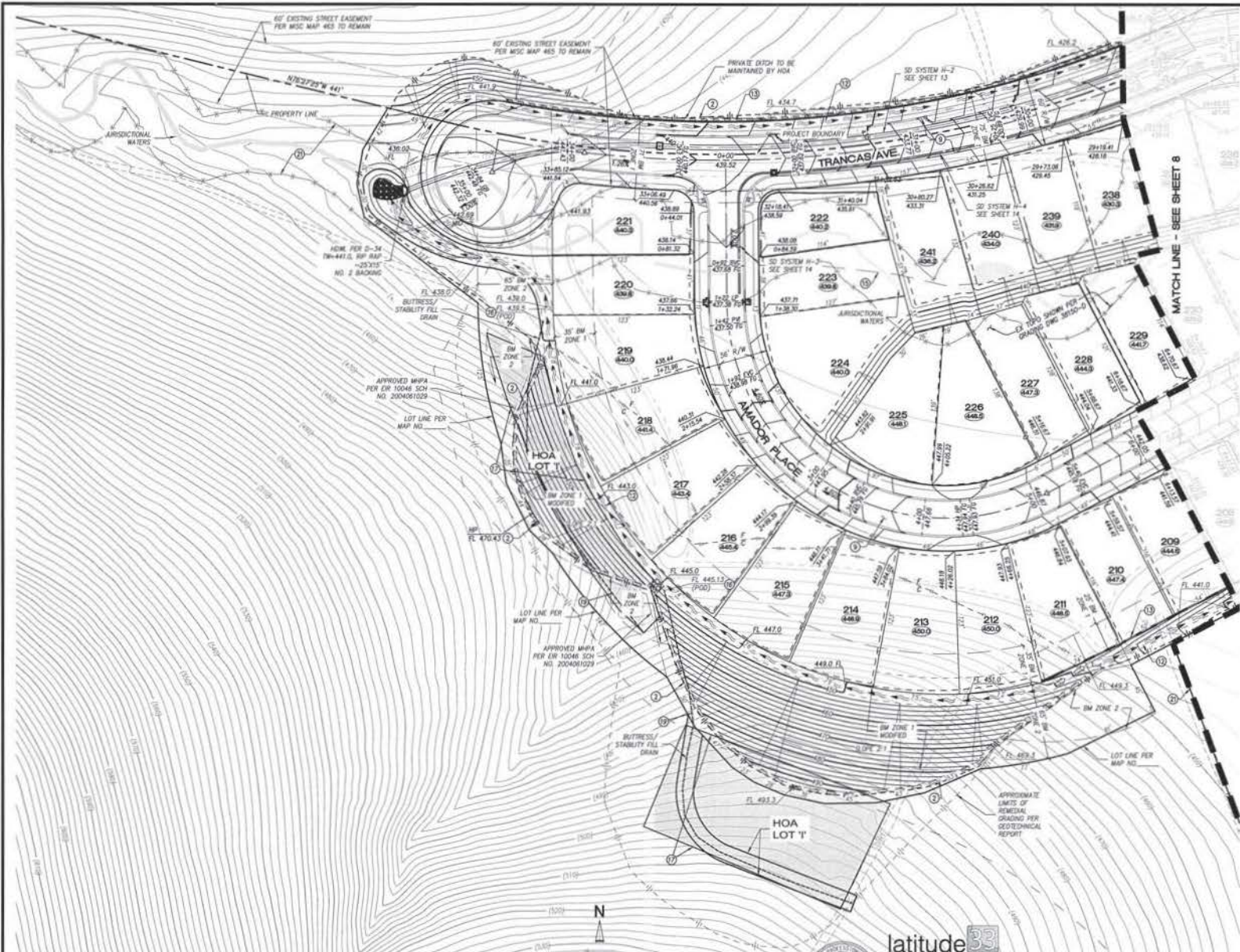


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PLANNING & ENGINEERING
3888 Island Street, #2700, San Diego, CA 92121
Tel: 619.434.1300

C. JOHN KARRASZOSKI
R.C.E. 3459

DATE: 2/5/16
REGISTRATION: 01/30/17

174051741516 - CASTLEROCK (PHASE II) UNIT 5 (PLAN) GRADING - PHASE I (1742152) GRAD-16-296 - 2/5/2016 8:33:13 AM



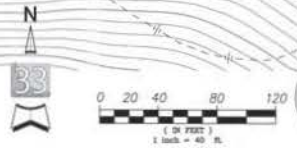
- CONSTRUCTION NOTES**
- INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET B
 - PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG. 38922-0
 - PRIVATELY MAINTAINED EPHEMERAL CHANNEL PER DETAIL SHEET B
 - 6" HIGH 1-HR FIRE RATED WALL PER SEPARATE PLAN
 - 6" SUBDRAIN PER DETAIL DW SHEET B
 - SUBDRAIN OUTLET PER DETAIL ON SHEET B
 - BUTRESS/STABILITY FILL PER DETAIL ON SHEET B (PER GEOTECHNICAL ENGINEER)
 - BUTRESS SUBDRAIN PER DETAIL SHEET B
 - ORANGE BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNTIL 401 PERMIT APPROVAL FROM THE FWCDB

HOLD HARMLESS AGREEMENT NOTE:
 PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS.
 HOLD HARMLESS AGREEMENT APPROVAL NO. 1506866

EMRA NOTE:
 FOR PRIVATE STORM DRAIN, CURB OPENINGS, DRAINAGE DITCH ON TRANCAS AVE, CANYON & BUTRESS SUBDRAINS, SEWER, WATER, DRY-WEAYS, EPHEMERAL CHANNELS, LANDSCAPE & IRRIGATION WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCLOSURE MAINTENANCE & REMOVAL AGREEMENT NO. 1505432

JURISDICTIONAL WATERS NOTE:
 THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.

SUBDRAIN NOTE:
 THE PRECISE LOCATION OF SUBDRAINS SHALL BE ACCURATELY LOCATED AND SHOWN ON THE FINAL AS GRADED PLANS.



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 PLANNING & ENGINEERING
 9889 Hillcrest Street, P.O. Box 500, San Diego, CA 92121
 Telephone 761-4653

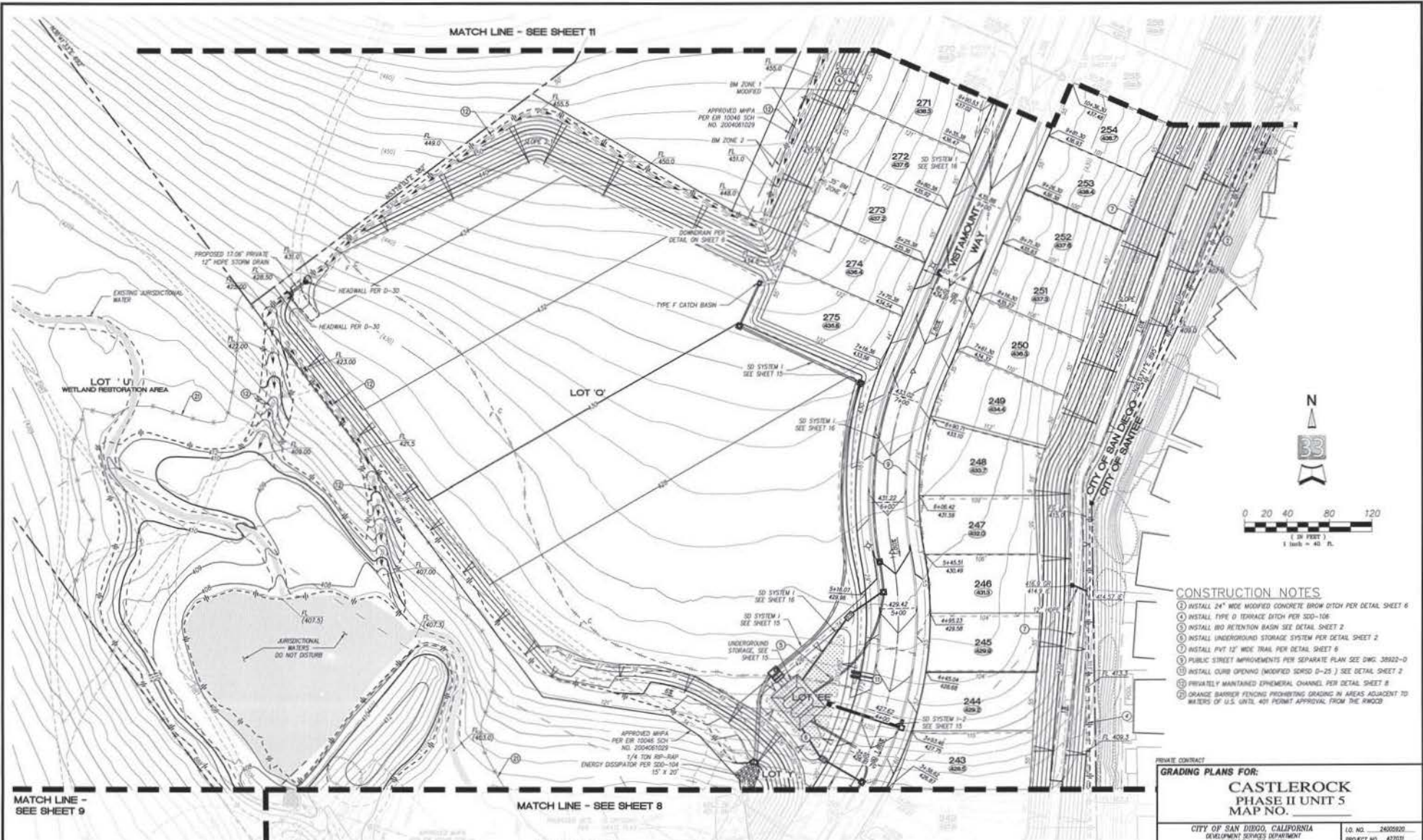
DATE	2/5/16	DESIGNED BY	DKP	PM REVIEW	GP	SURVEY REVIEW
ILLUSTRATION	EXPRES 08/20/17	BY	DKP	REVIEW	GP	

PRIVATE CONTRACT

GRADING PLANS FOR:
CASTLEROCK
PHASE II UNIT 5
MAP NO. _____

CITY OF SAN DIEGO, CALIFORNIA		I.D. NO. 2405903	
DEVELOPMENT SERVICES DEPARTMENT		PROJECT NO. 42701	
SHEET 9 OF 55 SHEETS		DATE 2/1/16	
PROJECT NUMBER		K.T.M. 1004408	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	(AT3)		
AS-BUILT			
CONTRACTOR		DATE STARTED	38921-9-D
INSPECTOR		DATE COMPLETED	

MATCH LINE - SEE SHEET 11



- CONSTRUCTION NOTES**
1. INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
 2. INSTALL TYPE D TERRACE DITCH PER SD-106
 3. INSTALL 180 RETENTION BASIN SEE DETAIL SHEET 2
 4. INSTALL UNDERGROUND STORAGE SYSTEM PER DETAIL SHEET 2
 5. INSTALL PVT 12" WIDE TRAIL PER DETAIL SHEET 6
 6. PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG. 38922-D
 7. INSTALL CURB OPENING (MODIFIED SDSD-25) SEE DETAIL SHEET 2
 8. PRIVATELY MAINTAINED EPHEMERAL CHANNEL PER DETAIL SHEET 8
 9. ORANGE BARRIER FENCING PROHIBITING GRADING IN AREAS ADJACENT TO WATERS OF U.S. UNTIL 401 POINT APPROVAL FROM THE RWCD

**GRADING PLANS FOR:
CASTLEROCK
PHASE II UNIT 5
MAP NO.**

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 10 OF 55 SHEETS		I.O. NO. 2400920
2/11/16 2/11/16		PROJECT NO. 42703
V.T.M. 1004468		
DESCRIPTION	BY	DATE
ORIGINAL	LA131	
AS-BUILT		
CONTRACTOR INSPECTOR		

JURISDICTIONAL WATERS NOTE:
THIS GRADING PERMIT IS ISSUED CONDITIONED UPON THE RESTRICTION THAT NO CLEARING, DISTURBANCE, OR GRADING IS PERMITTED IN THE US ARMY CORPS' JURISDICTIONAL AREAS UNTIL PERMITS ARE OBTAINED FROM THE US ARMY CORPS.

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RIGHTOFF ENTERING PRIVATE STORM DRAINAGE HOLD HARMLESS AGREEMENT APPROVAL NO. 1509486

EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, DRAINAGE DITCH ON TRANCAS AVE, CANYON & BUTTRESS SUBDRAINS, SEWER, WATER, DRIVEWAYS, EPHEMERAL CHANNELS, LANDSCAPE & IRRIGATION WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENDEAVORMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1509486



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PLANNING & ENGINEERING
8884 International Blvd., Suite 200, San Diego, CA 92123
Tel: 619.570.8823

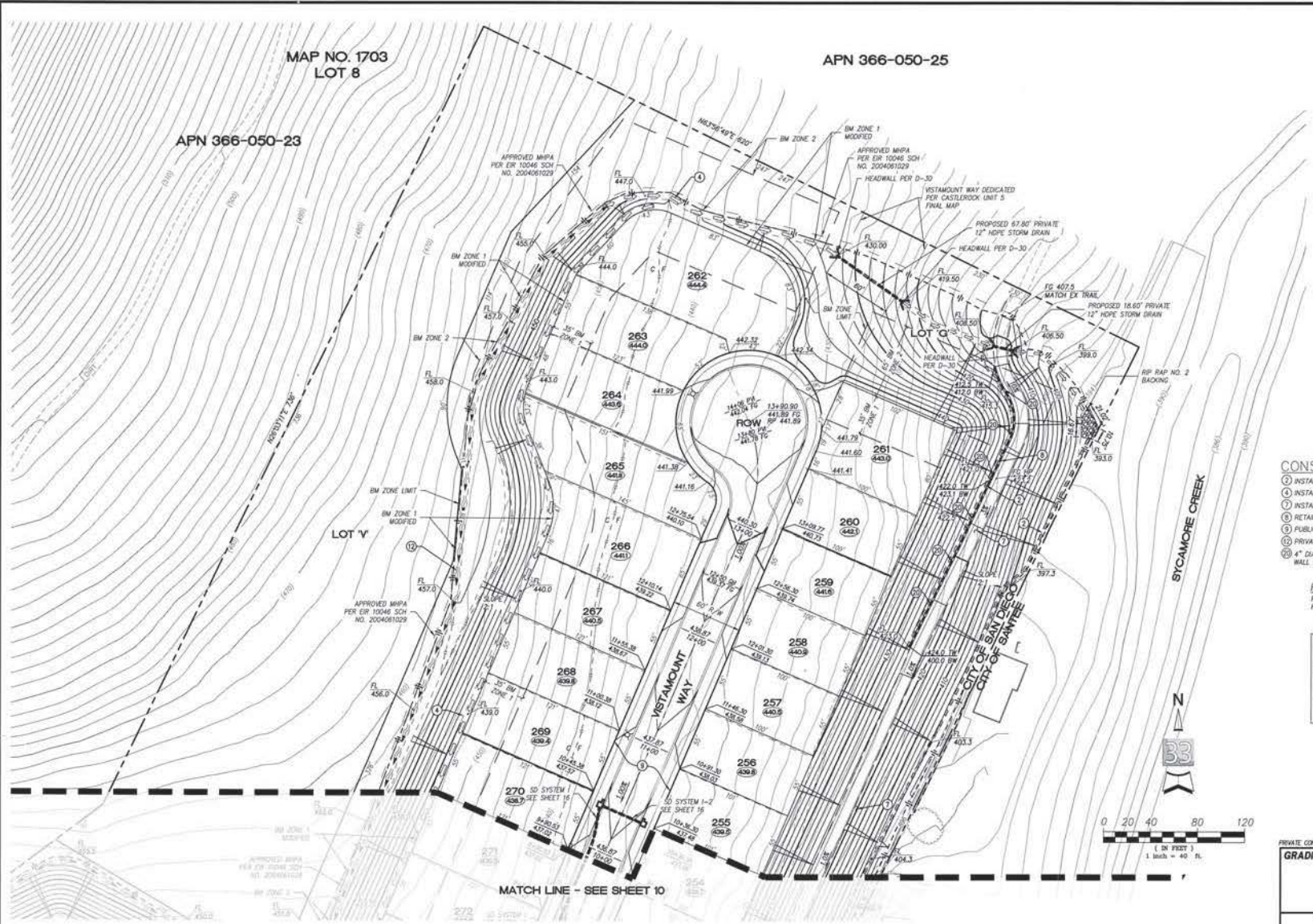
E. JOHN ERDENSOW
R.C.E. 34594
John Erdensow
DATE: 4/5/16
REGISTRATION EXPIRES: 09/25/17
DESIGNED BY: CKP
PM REVIEW: GP
SURVEY REVIEW:

DATE STARTED: _____
DATE COMPLETED: _____
38921-10-D
JOB NO. 1400.00

MAP NO. 1703
LOT 8

APN 366-050-25

APN 366-050-23



- CONSTRUCTION NOTES**
1. INSTALL 24" WIDE MODIFIED CONCRETE BROW DITCH PER DETAIL SHEET 6
 2. INSTALL TYPE D TERRACE DITCH FOR SDO-109
 3. INSTALL 18" DIA. MATCH EX TRIAL PER DETAIL SHEET 6
 4. RETAINING WALL PER SEPARATE PERMIT SEE PROJECT NO. 432653
 5. PUBLIC STREET IMPROVEMENTS PER SEPARATE PLAN SEE DWG. 38922-D
 6. PRIVATELY MAINTAINED EPHEMERAL CHANNEL PER DETAIL SHEET 8
 7. 4" DIA. PIPE, RETAINING WALL, SUBDRAIN DISCHARGE POINT PER TYPICAL WALL DETAIL ON SHEET 6

HOLD HARMLESS AGREEMENT NOTE:
PUBLIC RUNOFF ENTERING PRIVATE STORM DRAINS.
HOLD HARMLESS AGREEMENT APPROVAL NO. 156986.

EMRA NOTE:
FOR PRIVATE STORM DRAIN, CURB OPENINGS, DRAINAGE DITCH ON TRANCAS AVE., CANYON & BUTTRESS SUBDRAINS, SEWER, WATER, DRIVEWAYS, EPHEMERAL CHANNELS, LANDSCAPE & IRRIGATION WITHIN THE PUBLIC EASEMENTS & RIGHT-OF-WAY, SEE ENCROACHMENT MAINTENANCE & REMOVAL AGREEMENT NO. 1505432

PRIVATE CONTRACT

GRADING PLANS FOR:

**CASTLEROCK
PHASE II UNIT 5
MAP NO. 1703**

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 11 OF 55 SHEETS		I.G. NO. 2405920 PROJECT NO. 425201
DATE: 2/11/16		V.T.M. 104468
DESIGNED BY: [Signature]	DATE: []	1898-6327 COORDINATES
APPROVED BY: [Signature]	DATE: []	248-1763 LAMBERT COORDINATES
CONTRACTOR: []	DATE STARTED: []	38921-11-D
INSPECTOR: []	DATE COMPLETED: []	



latitude 33
PLANNING & ENGINEERING
9840 Village Street, #100 San Diego, CA 92131
760.688.5100

DESIGNED BY: <i>John Carlson</i>	DATE: 2/5/16	REGISTRATION EXPIRES: 09/30/17	DESIGNED BY: CKP	IN REVIEW: GP	SURVEY REVIEW: []
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ATTACHMENT 4 MITIGATION FIGURES

I. Non-Wetland Waters of the U.S. Mitigation and Monitoring Plan for Castlerock Development Project

Figure 4 – Jurisdictional Waters Conceptual Design Overview
Figure 4A – Jurisdictional Waters Conceptual Design Enlargement Map (Southerly End)
Figure 4B – Jurisdictional Waters Conceptual Design Enlargement Map (Central Portion)
Figure 4C – Jurisdictional Waters Conceptual Design Enlargement Map (Northerly End)
Figure 5A – Representative Cross Sections
Figure 5B – Representative Cross Sections

II. Jurisdictional Waters Compensatory Mitigation and Monitoring Plan for the Castlerock Project

Figure 3 – Project Location on Aerial Photograph
Figure 5 – Existing Conditions at Proposed Mitigation Site
Figure 6 – Post-Construction Condition of Proposed Mitigation Site
Figure 8 – Surface Hydrology at Proposed Mitigation Site

III. San Diego Fairy Shrimp/Vernal Pool Restoration and Enhancement Plan for the Castlerock Project

Figure 4 – Vernal Pool Preserve
Figure 5 – Vernal Pool Preserve Detail
Figure 7 – Regional Location of Reference Pools
Figure 8 – Reference Pools Location on USGS Map
Figure 9 – Reference Site Location on Aerial Photograph

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Figure 5B – Representative Cross Sections

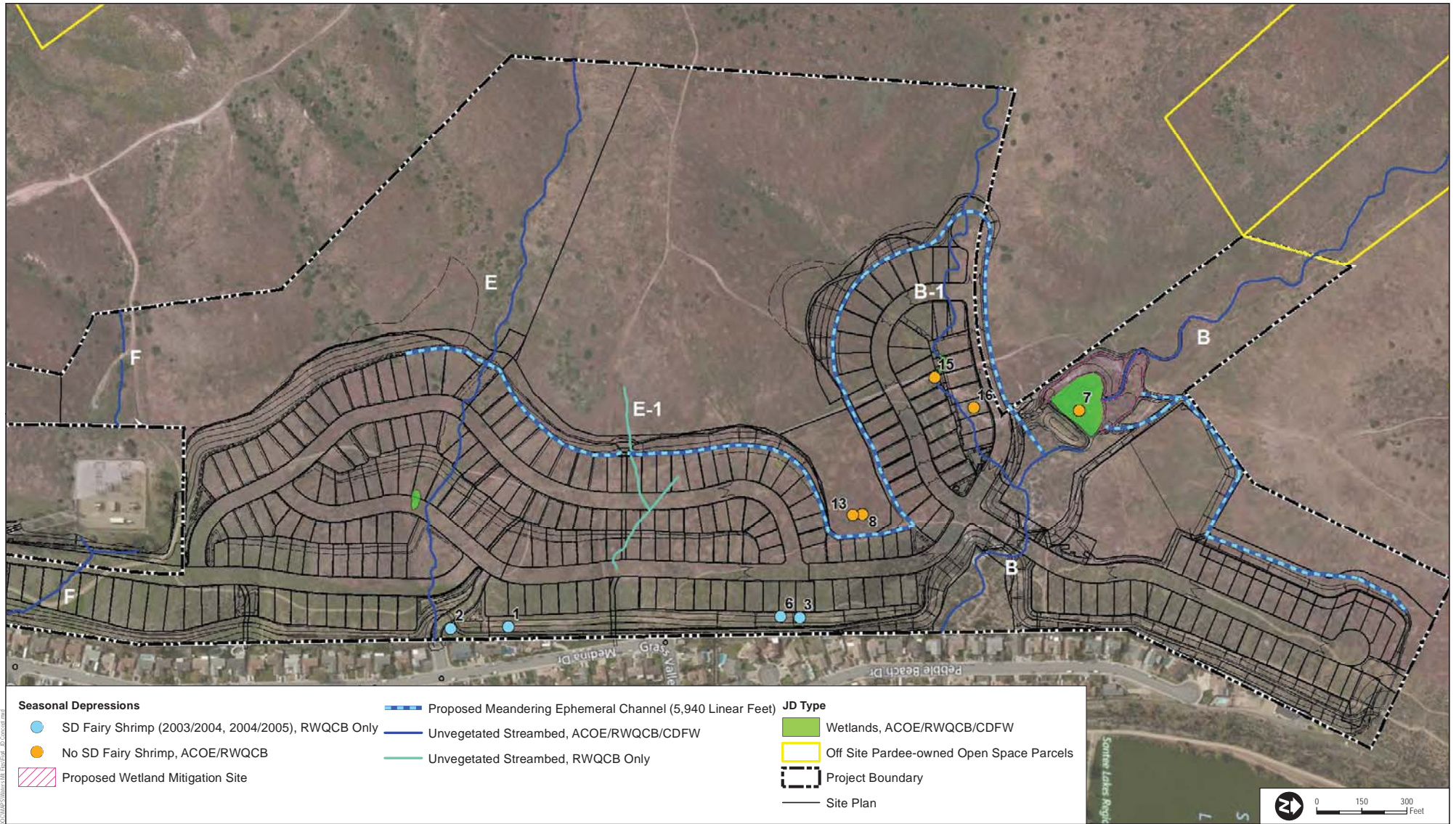
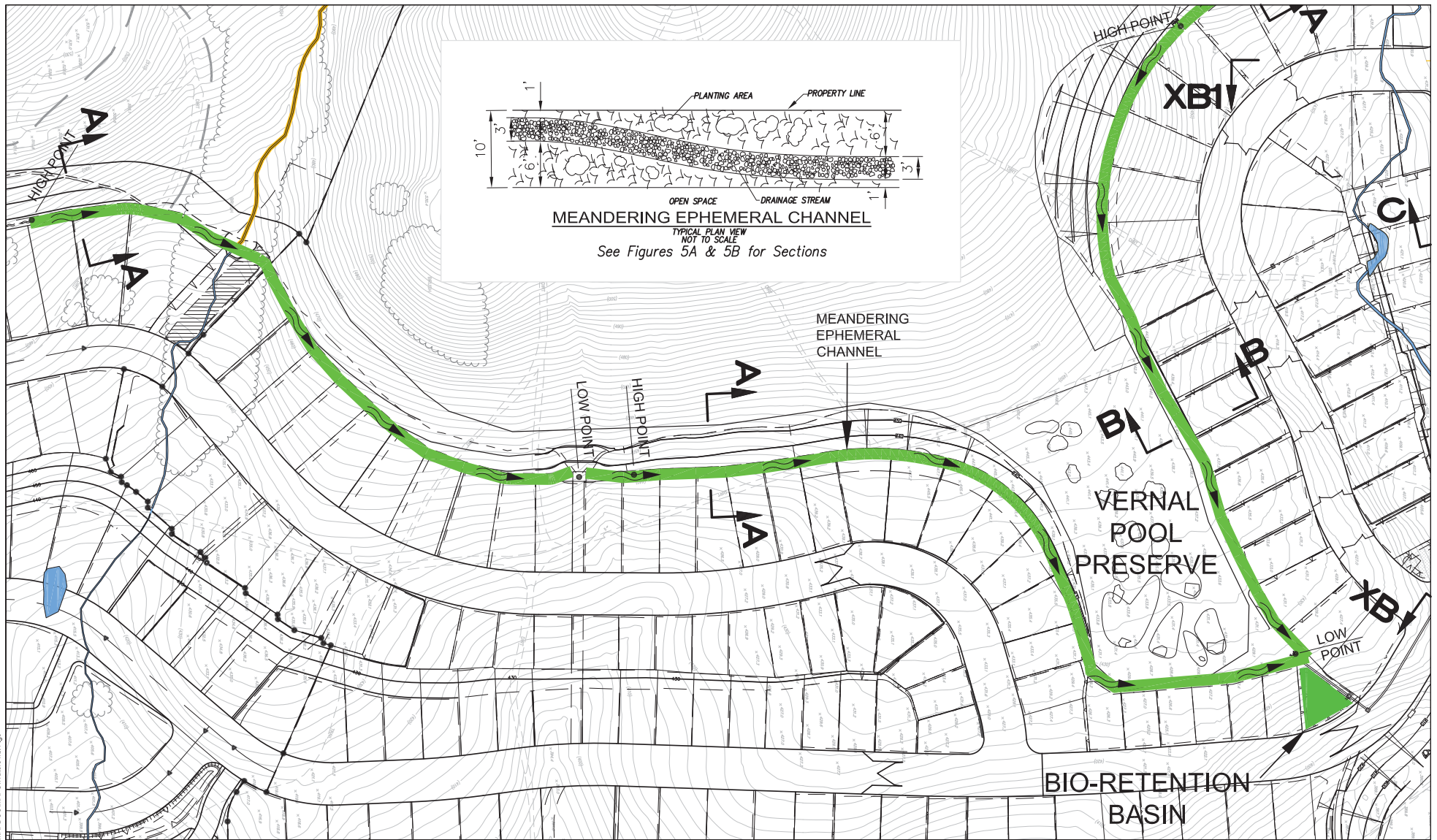
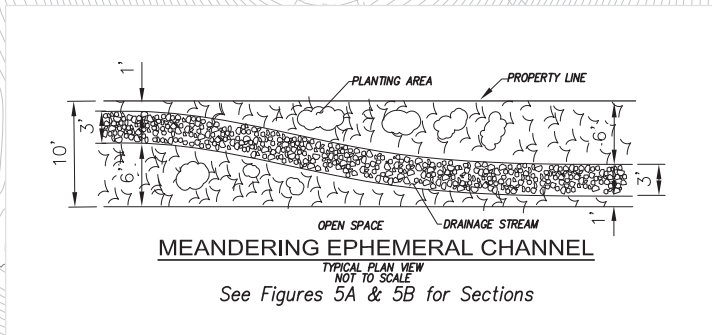


FIGURE 4
Jurisdictional Waters Conceptual Design Overview Map



DUDEK



SOURCE: LATITUDE 33, 2015

Jurisdictional Waters Conceptual Design Enlargement Map (Southerly End)

FIGURE 4A

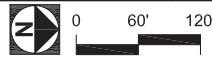


MEANDERING EPHEMERAL CHANNEL

Z:\Projects\865701\MAPDOC\MAPS\Waters_Mit_Figs

DUDEK

8657



SOURCE: LATITUDE 33, 2015

Non-Wetlands Waters of the U.S. Mitigation and Monitoring Plan for the Castlerock Development Project

FIGURE 4B
Jurisdictional Waters Conceptual Design Enlargement Map (Central Portion)



NEIGHBORHOOD
PARK

STORM DRAIN
SYSTEM

HIGH POINT

MEANDERING
EPHEMERAL
CHANNEL

LOW POINT

MHPA
OPEN SPACE

HIGH POINT

XB

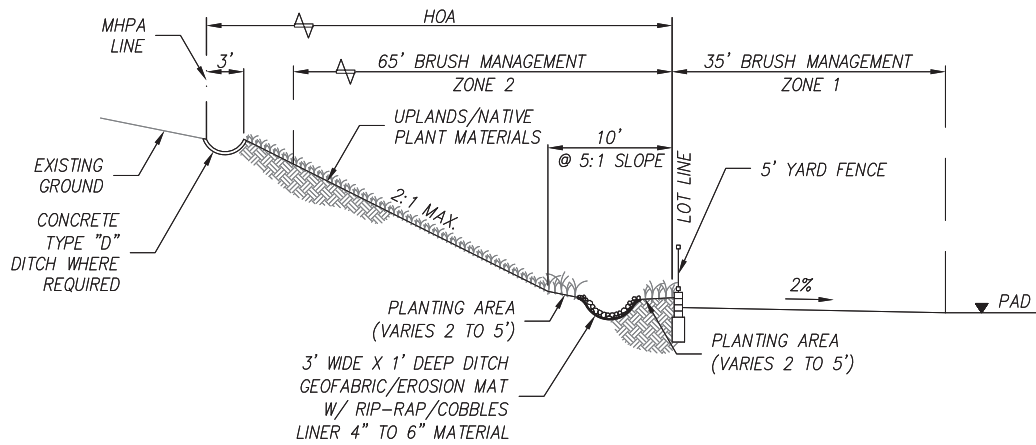
DUDEK



SOURCE: LATITUDE 33, 2015

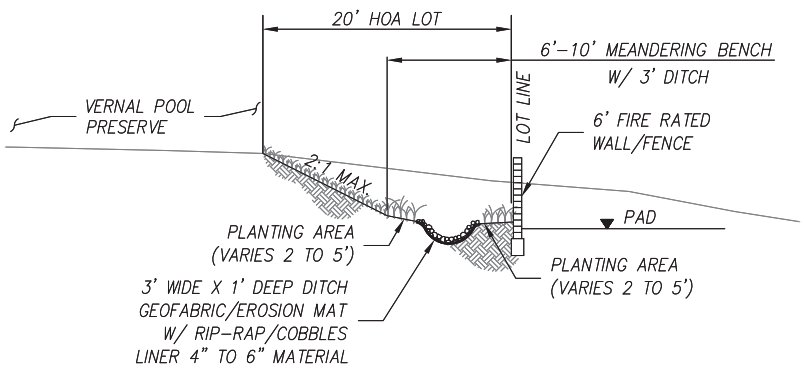
Jurisdictional Waters Conceptual Design Enlargement Map (Northerly End)

FIGURE 4C



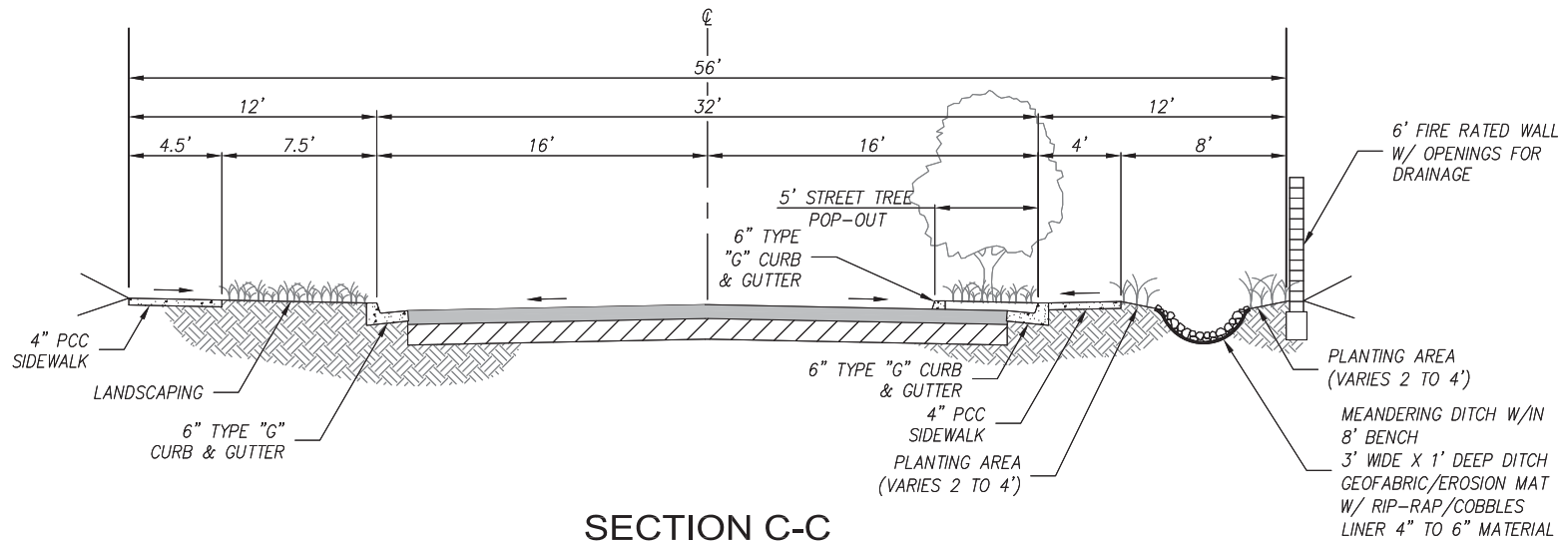
SECTION A-A

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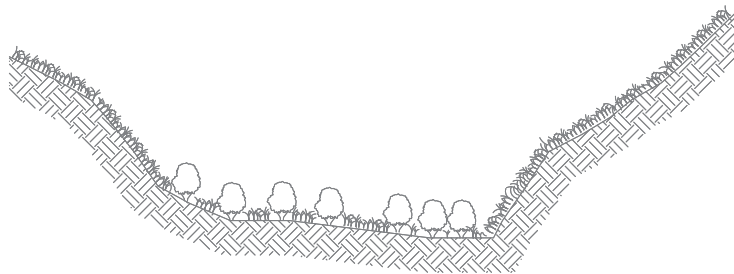


SECTION B-B

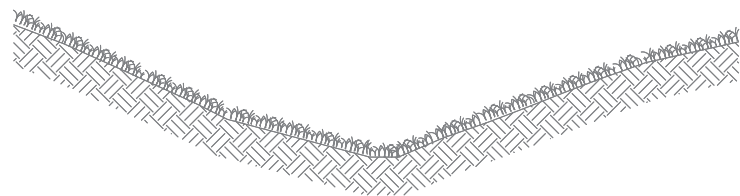
NO SCALE



SECTION C-C
NO SCALE



SECTION XB-XB
NO SCALE



SECTION XB1-XB1
NO SCALE

Pardee Homes
Castlerock Residential Development
Certification No. R9-2014-0151

II. Jurisdictional Waters Compensatory Mitigation and Monitoring Plan for the Castlerock Project

Figure 3 – Project Location on Aerial Photograph
Figure 5 – Existing Conditions at Proposed Mitigation Site
Figure 6 – Post-Construction Condition of Proposed Mitigation Site
Figure 8 – Surface Hydrology at Proposed Mitigation Site



- Project Boundary
- Proposed On-site Mitigation
- Site Plan Lines

FIGURE 3
Project Location on Aerial Photograph








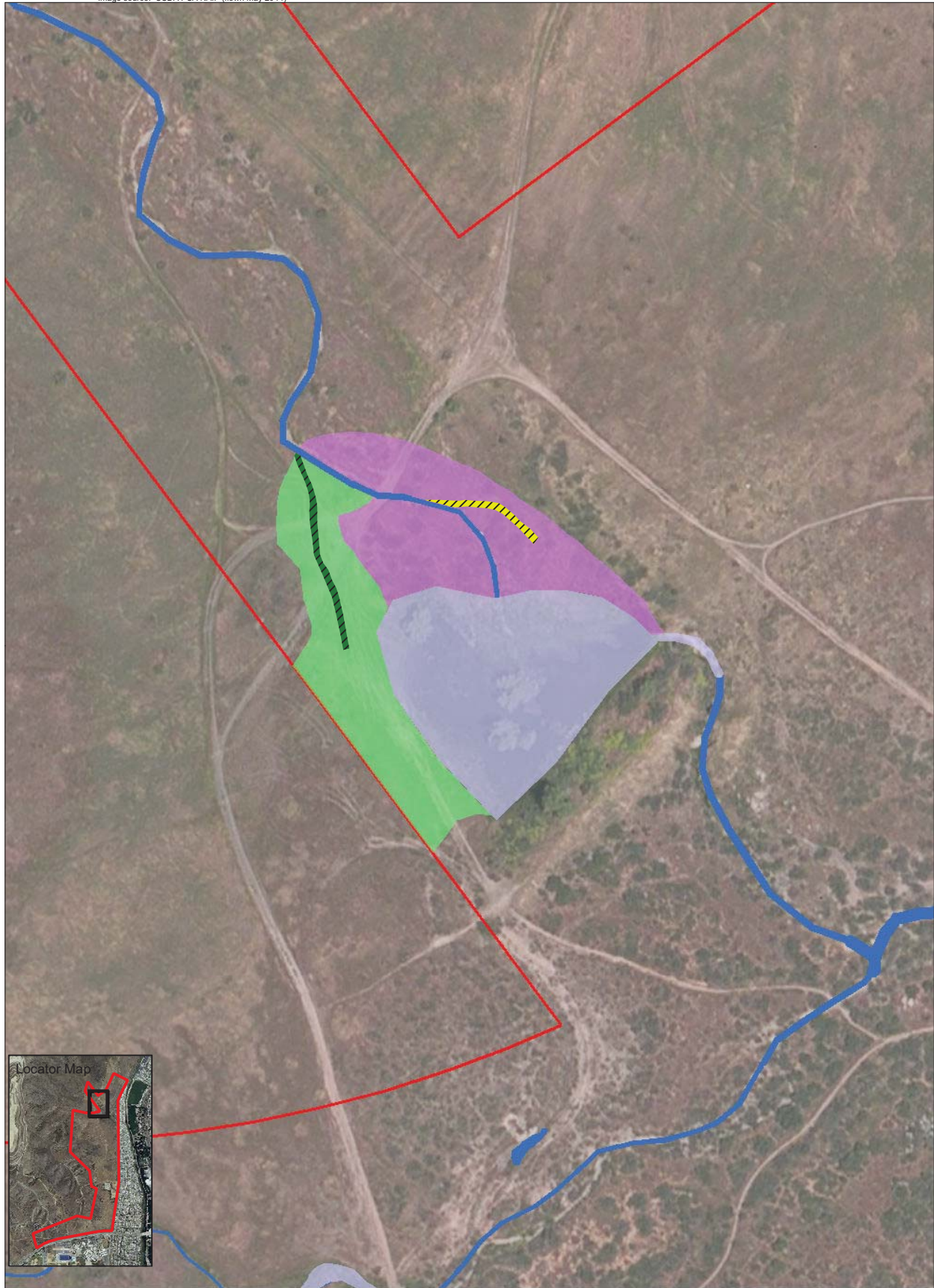







-  Project Boundary
-  Existing Wetland
-  Existing Stream Channel
-  Likely Sheet Flow
-  Contour Lines

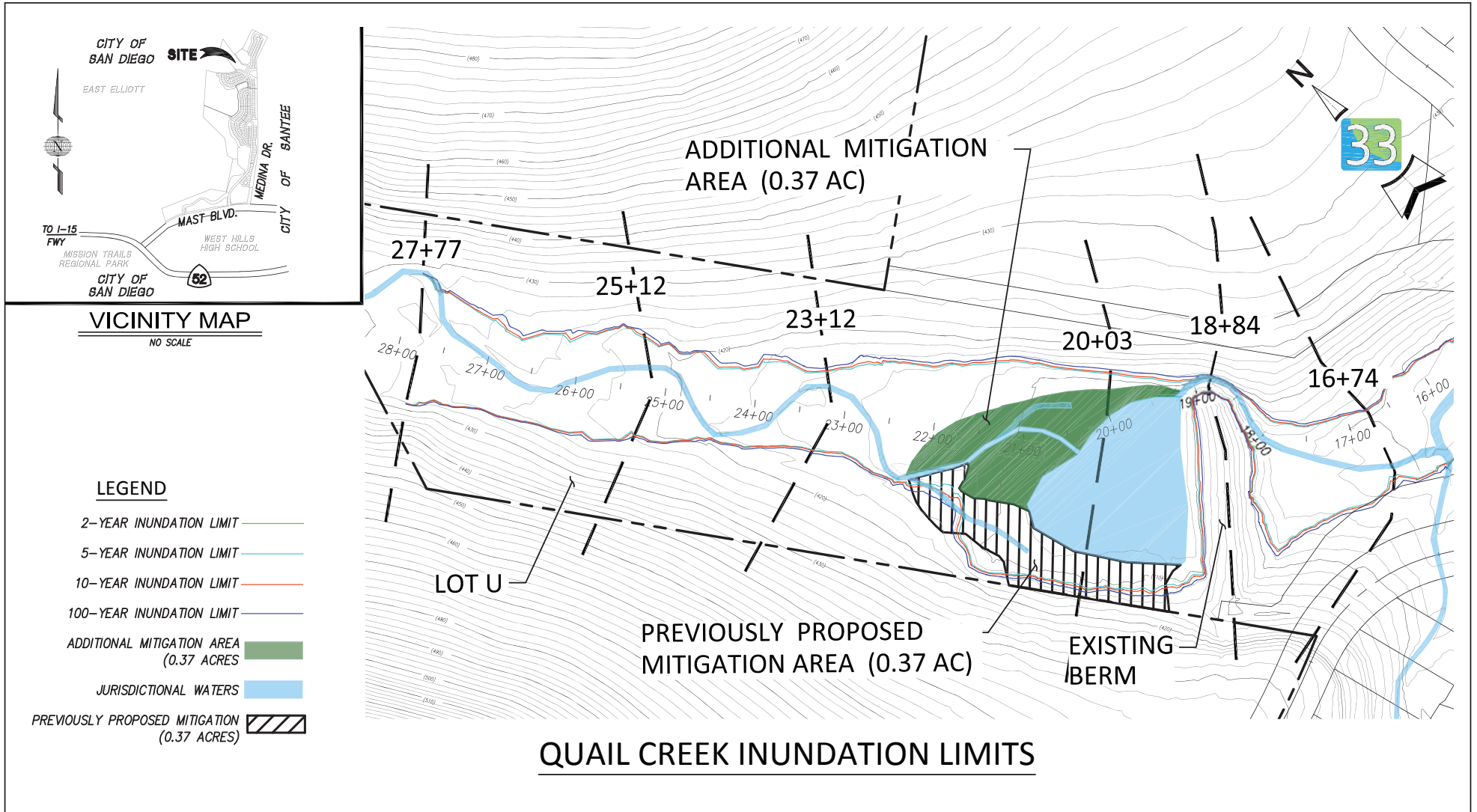


FIGURE 5
Existing Conditions at Proposed Mitigation Site



-  Project Boundary
-  Existing Wetland
-  Existing Stream Channel
-  Mitigation Site (0.37 acres)
-  Additional Mitigation Area (0.40 acres; 315 linear feet)
-  Proposed New Channel (0.02 acres; 155 linear feet)
-  Proposed New Secondary Channel (0.01 acres; 80 linear feet)





Pardee Homes
Castlerock Residential Development
Certification No. R9-2014-0151

III. San Diego Fairy Shrimp/Vernal Pool Restoration and Enhancement Plan for the Castlerock Project

Figure 4 – Vernal Pool Preserve

Figure 5 – Vernal Pool Preserve Detail

Figure 7 – Regional Location of Reference Pools

Figure 8 – Reference Pools Location on USGS Map

Figure 9 – Reference Site Location on Aerial Photograph

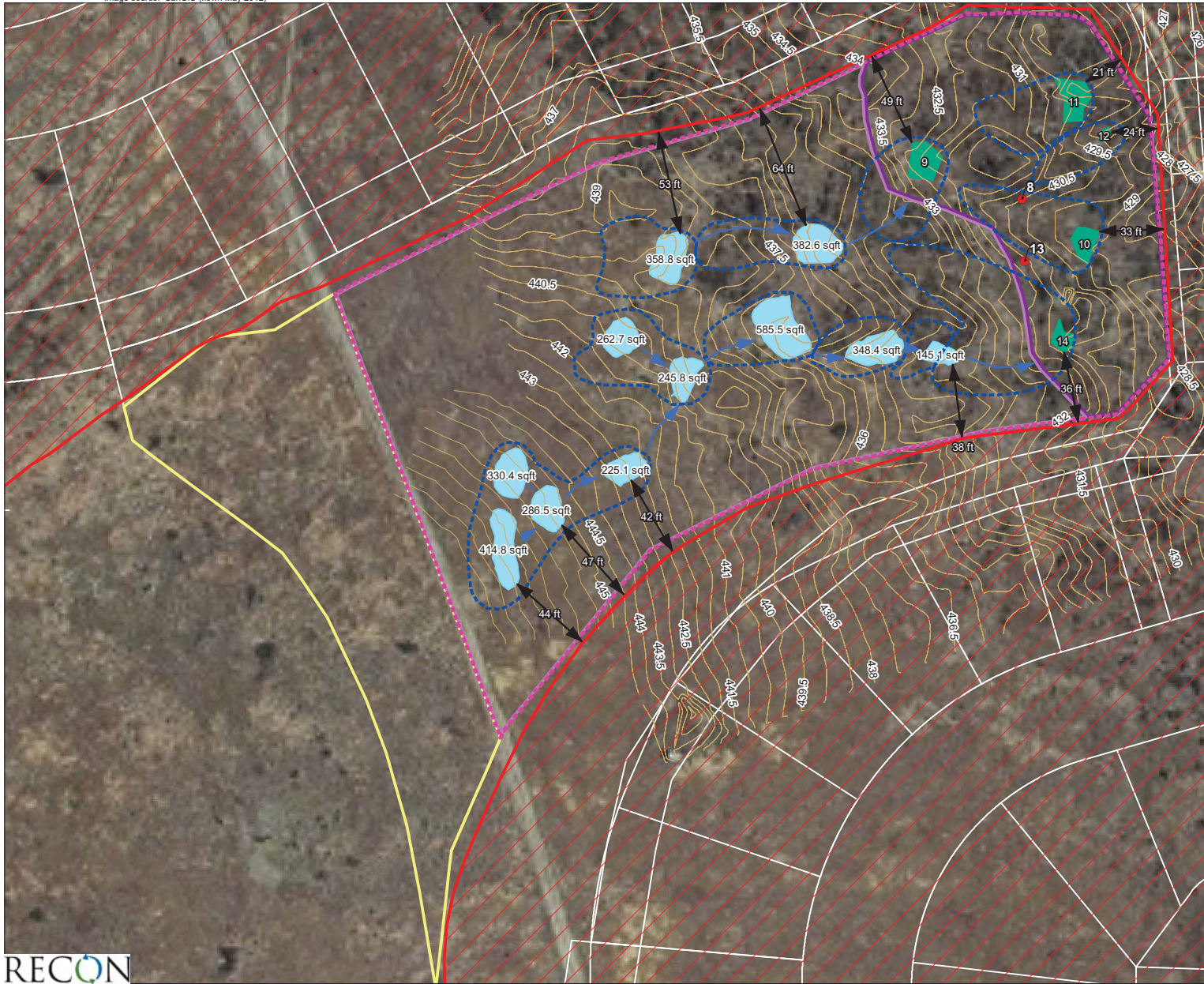


- | | | |
|-----------------------------------|--|---|
| Project Boundary | Features | Vernal Pool Preserve Area |
| Existing MHPA Boundary | Features Containing San Diego Fairy Shrimp | Existing Vernal Pool Area |
| Proposed MHPA Boundary | Feature Number | Vernal Pool Restoration Area (San Diego Fairy Shrimp Mitigation Area) |
| Proposed Restoration Vernal Pools | Preserved Vernal Pools | Extended Weed Control Area |



FIGURE 4

Vernal Pool Preserve



- Vernal Pool Preserve Area
- Existing Vernal Pool Area
- Vernal Pool Restoration Area
- Extended Weed Control Area
- Proposed Restoration Vernal Pools
- Preserved Vernal Pools
- Features
- Vernal Pool Watershed Area
- 6" Contours
- Flowlines
- Proposed Permanent Impact Area



FIGURE 5

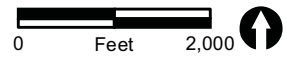
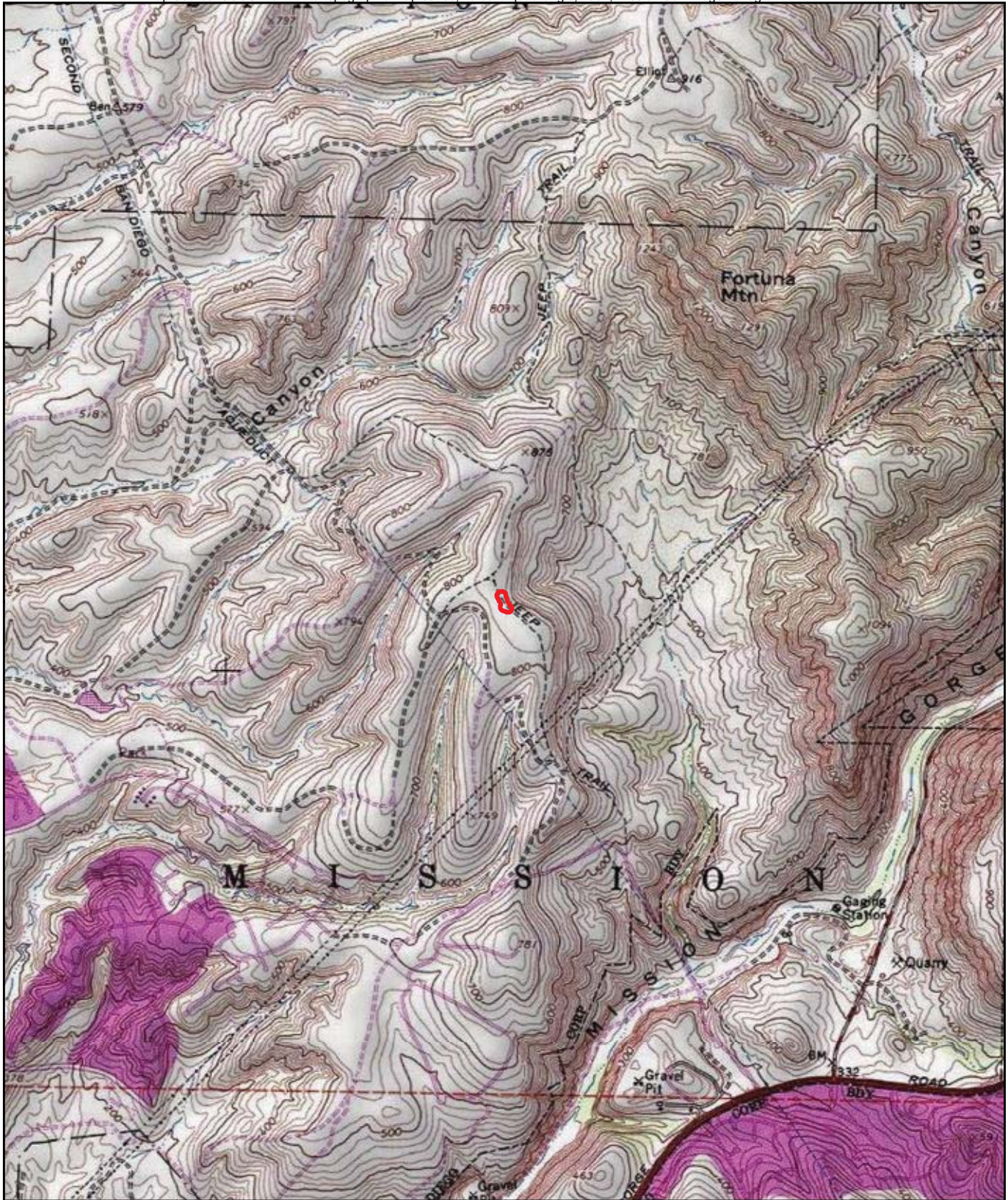
Vernal Pool Preserve Detail



 Project Location

FIGURE 7

Regional Location of Reference Pools




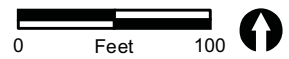
 Reference Site

FIGURE 8

Reference Pools Location on USGS Map





-  Reference Site
-  Reference Pools

FIGURE 9

Reference Site Location
on Aerial Photograph

Pardee Homes
Castlerock Residential Development
Certification No. R9-2014-0151

ATTACHMENT 5
CEQA MITIGATION MONITORING AND REPORTING PROGRAM

Addendum to An Environmental Impact Report, Castlerock Amendment, Mitigation, Monitoring and Reporting Program, beginning with Section C. Specific MMRP Issue Areas on Page 50 of 86 and including all mitigation measures for Biological Resources that apply to the amended project.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist

<i>Issue Area</i>	<i>Document submittal</i>	<i>Assoc Inspection/Approvals/Notes</i>
General	Consultant Qualification Letters	Prior to Pre-construction Meeting
General	Consultant Const. Monitoring Exhibits	Prior to or at the Pre-Construction meeting
Biology	Biology Monitoring Reports	Biological site observations
Paleontology	Paleontology Reports	Paleontology site observation
Archeology	Archeology Reports	Archaeology/Historic site observations
Noise	Acoustical Reports	Operational noise mitigation features inspection
Traffic	Traffic Reports	Traffic features site observation
Solid Waste	Waste Management Reports	Waste management inspections
Bond Release	Request for Bond Release letter	Final MMRP inspections prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

Landform Alteration/Visual Quality/Neighborhood Character

The project would encroach into steep slopes on-site and would include retaining walls that exceed the 6-foot height and 50-foot length significance criteria. Under San Diego thresholds, this is considered a significant impact associated with landform alteration. Prior to issuance of grading permits for the project, the project applicant shall implement the following measures to the satisfaction of the City Engineer to reduce the landform alternation impact:

- VIS-1: As a condition of the VTM approval and prior to the issuance of a grading permit for the project, the Mayor's designee shall verify that the grading plans provide contour grading of manufactured slopes. Resident Engineers with San Diego's Department of Engineering and Capitol Projects/Field Engineering shall inspect the grading to ensure conformance with approved grading plans. In addition, landscaping techniques using plant material of varying heights in conformance

with San Diego's Landscape Regulations and Manual shall be used in conjunction with contour grading to create an undulated slope appearance.

Air Quality

To reduce emissions of ROG, low-VOC content architectural coatings must be used. Thus, prior to issuance of grading or building permits for the project, the project applicant shall implement the following measures to the satisfaction of the City Engineer:

AIR-1: The applicant shall use exterior and interior coatings with a VOC content of 30 grams per liter or less during construction.

Biological Resources

Vegetation Communities

On- and off-site grading for the proposed project would result in potentially significant impacts to sensitive vegetation communities (coastal sage scrub, grasslands, and jurisdictional waters and wetlands, including vernal pools); sensitive plant species (San Diego barrel cactus, San Diego goldenstar, and variegated dudleya); sensitive wildlife species (California gnatcatcher, San Diego fairy shrimp, birds covered by the MBTA, and raptors).

BIO-1: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity, project upland impacts shall be mitigated in accordance with the San Diego LDC Biology Guidelines. On-site permanent impacts shall be mitigated through dedication of 14.1 acres of Tier I habitat inside the MHPA, 35.1 acres of Tier II or better habitat inside the MHPA, and 24.8 acres of Tier IIIB or better habitat inside the MHPA (refer to Addendum Table 5). Off-site permanent impacts shall be mitigated through dedication of 0.2 acre of Tier I habitat within the MHPA, 0.1 acre of Tier II or better habitat within the MHPA and 0.86 acre of Tier IIIB or better habitat within the MHPA (refer to Addendum Table 7). Mitigation land shall be provided on-site or in the East Elliott area. Mitigation land shall be conveyed to the City, as described in BIO-4.

BIO-2: After landslide remediation testing and design, but prior to issuance of permits to remediate any landslides, a final landslide remediation plan shall be prepared and submitted to the City for approval. This plan shall quantify and address remedial grading impacts to sensitive habitats, if any, in accordance with the San Diego Biology Guidelines and shall require habitat revegetation and remediation

of the areas impacted by landslide testing and/or stabilization activities at a 1:1 ratio. Performance criteria for the revegetation area shall include 60 percent of the reference site for shrubs and a 50 percent of the reference site for herbaceous cover, with a 75 percent diversity rate relative to the reference site at the end of the five year maintenance and monitoring period.

Prior to issuance of grading permits, a temporary impact revegetation plan shall be prepared and submitted to the City for approval. This plan shall address the revegetation of all areas temporarily impacted by construction activities within the proposed MHPA, which is estimated to consist of 0.7 acre of Tier I habitat, 1.2 acre of Tier II habitat, and 0.6 acre of Tier III habitat at a 1:1 ratio in accordance with the San Diego Biology Guidelines. Performance criteria for the revegetation area shall include 60 percent of the reference site for shrubs and a 50 percent of the reference site for herbaceous cover, with a 75 percent diversity rate relative to the reference site at the end of the five year maintenance and monitoring period.

It is noted that a draft Temporary Impacts and Landslide Remediation Plan (RECON 2014a) has been prepared.

BIO-3: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity (except those necessary for geologic testing and/or landslide remediation), the grading plans shall include the following required measures:

Prior to project grading or vegetation clearance activities, the Owner/Permittee shall arrange to schedule a preconstruction meeting to ensure implementation of the MMRP. The meeting shall include the Resident Engineer, Project Biologist, and the City's MMC Section, in addition to owner/permittee or designee and the construction crew. The project biologist shall conduct an educational session at this meeting regarding the need to avoid impacts outside of the approved development area and to protect sensitive flora and fauna (i.e. explain flag system for removal or retention, limit vegetation removal/demolition areas to fall only outside of sensitive biological areas).

A biological monitor shall be present during any/all construction activities. The project biologist shall supervise the installation of the limit of work fence to protect biological resources and during construction be on-site to prevent any new disturbances to sensitive habitat, plants and

animals on-site. Any unforeseen impacts to sensitive biological resources shall be mitigated in accordance with the San Diego LDC and MSCP, to the satisfaction of the City and, as applicable, Resource Agencies. Prior to the release of the construction bond, a final monitoring report shall be submitted to the City.

BIO-4: After all restoration efforts have been signed off and accepted by the City, the on-site MHPA shall be conveyed to the City's MCSP preserve through one of the following:

- a) Dedication. The Owner/Permittee/Applicant shall convey the mitigation area in fee title to the City, or other conservation entities found acceptable by the City, USFWS, or CDFG through an irrevocable offer of dedication via the Final Maps. Conveyance of any land in fee shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other storm water control facilities and manufactured slopes (with the exception of those that might be associated with the potential landslide area; San Diego Biology Guidelines 2002).
- b) Covenant of Easement. To the extent consistent with MSCP Implementing Agreement, the Owner/Permittee/Applicant must agree to a covenant of easement for the management of the mitigation area in perpetuity, recorded against the title of the property with the USFWS and the CDFG names as third party beneficiaries. Identification of permissible passive activities and any other conditions of the permit must be incorporated into the covenant. (San Diego Biology Guidelines 2002).
- c) Any other method of transfer permitted by the City's MSCP Subarea Plan or Implementing Agreement. To the extent consistent with MSCP Implementing Agreement and to facilitate MHPA conveyance, any non-fee areas located in the MHPA shall be lotted separately, with a covenant of easement, and be maintained in perpetuity by the Owner/Permittee/Applicant, unless otherwise agreed to by the City. All other on-site areas can be conveyed through any of the above methods.

Sensitive Plants

BIO-5: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction-related activity on-site, a qualified biologist shall submit final translocation plans for San Diego goldenstar, variegated dudleya and San Diego barrel cactus prepared in accordance with the San Diego Biology Guidelines for

approval by the staffs of Environmental Analysis Section (EAS), MSCP, and applicable Resource Agencies. These plans shall provide for the transplantation of San Diego goldenstar from the approximately 771 square-foot (<0.01 acre) area to be impacted by development within the existing MHPA to suitable areas within the proposed MHPA; the relocation of an estimated 1,000 square feet of variegated dudleya within the impact area to suitable areas within the MHPA; and the relocation of 42 individuals of San Diego barrel cacti impacted in the existing MHPA to suitable areas within the proposed MHPA. The translocation plans shall include (but are not limited to) requirements for site preparation, seed and plant collection, planting methods, maintenance and monitoring, and success criteria. Success criteria shall include:

Variegated Dudleya

- 1) The establishment of a self-sustaining population of the translocated species with a minimum survivorship of 80 percent, with 15 percent of the surviving individuals being mature flowering plants in any of the five monitoring years at the translocation site (without supplemental water);
- 2) Less than 10 percent of the translocation and enhancement area shall be covered by exotic weeds at the end of five years; and
- 3) The translocated individuals shall have survived without supplemental watering for at least two years.

San Diego Goldenstar

- 1) The establishment of a self-sustaining population of San Diego goldenstar with a minimum survivorship of 80 percent of translocated individuals;
 - 2) Fifteen percent of the surviving individuals will be mature flowering plants in any of the five monitoring years at the translocation site (without supplemental water);
 - 3) Prior to the end of the five-year maintenance and monitoring period, the translocated individuals shall have survived without supplemental watering for at least two years; and
 - 4) Individuals lost to herbivory or other causes will be replaced with seed grown plants and/or salvaged plants from the impact area outside of the MHPA such that, at the end of five years, 80 percent of the estimated number of individuals present in the impacted area (771 square feet) will be growing at the translocation site.
-

- 5) The enhancement and restoration of the native grassland habitat at the translocation site. In addition, a 100-foot protective buffer will be maintained (i.e., weeded) around the translocation site.
- 6) A total of 0 percent coverage by Cal-IPC (2006) High, Moderate, and Alert species and no more than 10 percent of the enhancement site will be covered by exotic weeds at the end of five years.

San Diego Barrel Cactus

- 1) The establishment of a self-sustaining population of coast barrel cactus with a minimum 1:1 survivorship for either the 42 translocated individuals salvaged from within the MHPA; and
- 2) Prior to the end of the three-year maintenance and monitoring period, the translocated individuals will have survived without supplemental watering for at least one year.

As plant populations fluctuate from season to season and year to year, a final survey shall be undertaken to identify the individual number or acreage of variegated dudleya, San Diego barrel cacti, and San Diego goldenstar present within the development impact area. Any variegated dudleya plants found in the final survey within the project development impact area, and any San Diego barrel cacti, or San Diego goldenstar (excluding the San Diego golden star within the potential landslide remediation area) found within the existing MHPA area to be impacted by the project shall be included in the transplantation effort and the final translocation plans.

San Diego goldenstar impacts from potential landslide remediation shall be addressed in a San Diego Goldenstar Transplantation and Landslide Remediation Plan. After landslide remediation testing but prior to issuance of permits necessary for landslide remediation, a final San Diego Goldenstar Transplantation and Landslide Remediation Plan shall be prepared, if necessary, and approved by San Diego. This plan shall quantify and address remedial grading impacts to San Diego goldenstar in accordance with the San Diego LDC Biology Guidelines. San Diego goldenstar impacted through landslide remediation activities shall be mitigated through preservation within the East Elliott community in the MHPA. Prior to any needed landslide remediation, a San Diego goldenstar survey of the proposed preservation area shall be completed to verify adequate San Diego goldenstar acreage is available for preservation. Preservation land shall be conveyed to San Diego via methods indicated in BIO-4.

It is noted that translocation plans for variegated dudleya, San Diego goldenstar, and San Diego barrel cactus have been prepared (see RECON 2014b, RECON 2014c, and RECON 2014d).

Sensitive Wildlife

BIO-6: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity, the Mayor (or appointed designee) shall verify that the following project requirements regarding the MBTA are shown on the construction plans: No clearing, grubbing, grading, or other construction activities shall occur between February 15 and August 15, the bird nesting season, unless a qualified biologist monitors vegetation clearing operations to search for and flag active nests so that they can be avoided.

BIO-7: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction-related activity, the Mayor (or appointed designee) shall verify that the following project requirements regarding raptors are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between February 15 and August 15, the raptor nesting season, unless a qualified biologist completes a pre-construction survey to locate active raptor nests (if any). If active raptor nests are present, no grading or removal of habitat shall take place within 300 feet of active nesting sites during the nesting/breeding season (February 15 through August 15).

BIO-8: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction related activity, the Mayor (or appointed designee) shall verify that the proposed MHPA boundary and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between March 1 and August 15, the breeding season of the coastal California gnatcatcher, until the following requirements have been met to the satisfaction of the Mayor:

- A. A qualified biologist (possessing a valid ESA Section 10(a)(1)(A) recovery permit) shall survey those habitat areas within the MHPA that would be subject to construction noise levels exceeding 60 A-weighted decibels [dB(A)] hourly average for the presence of the coastal California gnatcatcher. Surveys for the coastal California gnatcatcher shall be conducted pursuant to the protocol survey guidelines established by the USFWS within the breeding season prior to the commencement of any construction. If gnatcatchers are present, then the following conditions must be met:
- I. Between March 1 and August 15, no clearing, grubbing, or grading of occupied gnatcatcher habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - II. Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied gnatcatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the Mayor at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or
 - III. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the coastal California gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the
-

associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (August 16). *Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the Mayor, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

- B. If coastal California gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the Mayor and applicable Resource Agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1 and August 15 as follows:
 - I. If this evidence indicates the potential is high for coastal California gnatcatcher to be present based on historical records or site conditions, then condition A.III shall be adhered to as specified above.
 - II. If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

BIO-9: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction-related activity, the applicant shall provide the City with a copy of any required State or Federal permit necessary for the take of San Diego fairy shrimp.

BIO-10: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction-related activity, a final restoration and management plan for San Diego fairy shrimp shall be completed, reviewed, and approved by the applicable Resource Agencies. This plan shall address the restoration of a minimum of 1,260 square feet of pools (3:1 mitigation ratio) and enhancement of

the existing five pools to be preserved. The restoration plan shall identify collection and restoration methodology and activities, outline a monitoring and maintenance program, and include success criteria that must be met before the restoration program is deemed to be complete. Restoration activities shall include recontouring basins and populating the restored basins with appropriate vernal pool species, including San Diego fairy shrimp, from the impacted pools and/or a source approved by the USFWS. Required maintenance activities (e.g., weeding) shall be identified. BMZ-2 shall not be allowed within the vernal pool preserve area or vernal pool restoration area. The area shall be fenced and monitored for 5 years or until success criteria are met, whichever occurs first. Success criteria include:

- For each of the restored vernal pools, the area of vernal pool vegetation shall be defined for purposes of this section as coincident with the area supporting a combined relative pool species cover of more than 50 percent, measured within 45 days of the disappearance of standing water. In a drought year, this criterion shall be considered to be met if the total relative cover by vernal pool species equals that of the averaged value of control vernal pools having similar hydrological characteristics in that year and if the qualifying area has met this criterion in a previous monitoring year.
 - For each of the restored vernal pools, the total absolute vegetative cover in areas of qualified vernal pool vegetation, not including target weed species, shall equal or exceed 50 percent of the averaged value of control vernal pools having similar hydrological characteristics.
 - The restored vernal pools shall support reproducing populations of a minimum number of vernal pool plant species equivalent to that supported by the control vernal pools. Equivalence is met if (1) the vernal pool species richness value for the restored vernal pools is equal to or greater than the minimum value found in the control vernal pools and (2) the value of vernal pool species richness in the restored vernal pools is equal to or greater than that of the control vernal pools.
 - The restored vernal pools shall support populations of at least two vernal pool indicator species, including San Diego fairy shrimp.
 - Within each preserved vernal pool, California Invasive Plant Council List High, Moderate, and Alert species shall not be present. Within each restored vernal pool, the relative cover of non-native species shall not exceed five percent.
 - At the end of the five-year monitoring program, required native grassland upland cover values in the vernal pool restoration area would
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be 60 percent of the control site for native grass cover and 50 percent of the control site for herbaceous cover.

- The native grassland within the vernal pool restoration area shall be considered to meet the diversity and composition criteria if 75 percent of its upland plant taxa are shared with the control site after the five-year monitoring period.
- Within the native grassland upland habitat in the vernal pool restoration area, the relative cover of all non-native species shall not exceed an absolute value of 10 percent. Within the extended weed control area, no California Invasive Plant Council List High, Moderate, and Alert species shall be present. Prior to the end of the monitoring period, the restored vernal pools shall demonstrate hydrological patterns of duration, periodicity, and depth of inundation which fall within the range of variation observed in the control vernal pools.

It is noted that a San Diego Fairy Shrimp/Vernal Pool Restoration and Enhancement Plan (RECON 2014e) has been prepared for the project.

Jurisdictional Waters and Wetlands

BIO-11: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any construction related activity on-site, the applicant shall obtain all appropriate USACE permit, CDFW Streambed Alteration Agreement, and RWQCB Water Quality Certification. Mitigation shall proceed according to permitting requirements of the applicable Resource Agencies and shall consist of a minimum 2:1 mitigation ratio of preservation/creation/restoration/ enhancement. The wetland mitigation shall include a minimum 1:1 creation component to ensure no net loss of wetlands. As such, mitigation shall include a minimum of 0.13 acre wetland creation, 0.13 acre wetland preservation/ enhancement, and 0.42 acre of non-wetland preservation within the Santee Subarea watershed (see Addendum Table 7). Temporary jurisdictional impacts shall be mitigated at a 1:1 ratio through the restoration of the drainage to the existing hydrologic values (see Addendum Table 8).

BIO-12: Prior to the issuance of a Notice to Proceed for a subdivision, or any construction permits, such as Demolition, Grading, or Building, or beginning any Construction-related activity on-site, a qualified biologist shall submit a final wetland mitigation plan to the USACE, RWQCB, San Diego (Park and Recreation, EAS, and MSCP), and CDFW for review and approval. This plan

shall be prepared in accordance with the San Diego Biology Guidelines and shall include, at minimum, 0.13 acre of wetland creation. The wetland mitigation plan shall include a performance standard of 90 percent native cover and support 80 percent of the target species within the wetland creation area by the end of the 5 year maintenance and monitoring period.

It is noted that a draft Wetland Mitigation Plan (RECON 2014f) has been prepared.

MHPA Boundary Line Adjustment

The project would potentially result in significant impacts to the MHPA without the incorporation of mitigation. The proposed BLA associated with the Annexation Scenario would not result in a preserve that is functionally equivalent to the adopted MHPA, as there would be an overall loss of habitat value and covered species. The project would result in a loss of habitat value in the MHPA, as the Annexation BLA would result in a loss of coastal sage scrub (Tier II). The project would potentially result in significant impacts to the following covered species through habitat loss or reduction in plant populations: coastal California gnatcatcher, San Diego goldenstar, variegated dudleya, and San Diego barrel cactus. To ensure that the proposed BLA would result in a preserve that is functionally equivalent to the adopted MHPA, measures BIO-1, BIO-2, BIO-4, and BIO-5 and the following BIO-20 shall be implemented:

BIO-20: Prior to the issuance of grading permits, the applicant shall convey 25.7234.96 acres of equivalent Tier II or better habitat located on Assessor's Parcel Number 366-050-30 off-site within the MHPA to the City. Conveyance shall be completed via one of the three options identified in measure BIO-4.

MHPA Indirect Effects

In order to ensure consistency with the MSCP Subarea Plan Land Use Adjacency Guidelines, the following measure shall be implemented:

BIO-21:

1. Prior to the issuance of a Notice To Proceed for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Assistant Deputy Director (ADD; or designee) shall verify that the project is in compliance with the MSCP Subarea Plan's Land Use Adjacency Requirements and that the following site specific requirements are noted on the grading plans under the heading Environmental Requirements:

- A. Drainage. Project runoff shall be controlled so that water quality or hydrology impacts to the MHPA do not occur. All drainage from proposed roads and structures associated with the proposed project shall be directed into a storm drain system. Manufactured slope and residential lot runoff in the vicinity of vernal pools shall be controlled to avoid impacts to vernal pools.
 - B. Toxics. The project shall not result in the introduction of toxics into the MHPA.
 - C. Lighting. All lighting associated with the project shall be shielded and directed away from the MHPA.
 - D. Noise. The project shall not increase ambient noise levels in a manner that would result in impacts to biological resources in the MHPA. Excessively noisy uses (i.e. construction) or activities adjacent to breeding areas must incorporate noise reduction measures to reduce noise below 60 dB and/or be curtailed during the general and sensitive bird breeding season (February 1-September 15) per the City and applicable Resource Agency protocol.
 - E. Barriers. Where adjacent to the MHPA, the project shall be required to provide barriers (e.g., non-invasive vegetation, rocks/boulders, fences, walls, and/or signage) along the MHPA boundaries to direct public access to appropriate locations and reduce domestic animal predation. The project shall not obstruct any habitat linkages, including wildlife movement between or within any MHPA. Any barriers to prevent human intrusion shall be designed to allow wildlife to continue to pass through if the existing area provides habitat linkage or significant wildlife movement.
 - F. Invasives. The project landscape plant palette for areas adjacent to the MHPA shall only include only native and low-fuel plant species. Project landscaping shall not include invasive plants adjacent to the MHPA.
 - G. Brush management. No brush management shall occur within the vernal pool preserve. BMZ-1 shall not be allowed within the MHPA. BMZ-2 may be located in the MHPA upon granting of an easement to San Diego (or other acceptable agency). Brush management zones shall not be greater in size than is currently required by San Diego's regulations. The amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with San Diego standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush
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management in the BMZ-2 area shall be the responsibility of a homeowners association or other private party.

Draft Vernal Pool Management Plan

The following measure shall be implemented to ensure that the project and associated vernal pool plans are consistent with the San Diego VPMP.

- BIO-22: In accordance with the San Diego/USFWS Planning Agreement, prior to grading permit issuance, following take authorization from the USFWS, applicant shall submit the project for Substantial Conformance Review (Process 1) to assure the project's final restoration and management plan consistency with the following:
- The then current draft or final Vernal Pool Habitat Conservation Plan;
 - The then current preliminary or final Vernal Pool Preserve Areas;
 - The restoration, management and monitoring plan identified in measure BIO-10 is consistent with the then current draft Vernal Pool Management Plan;
 - The requirement to provide funding in perpetuity for management and monitoring of the vernal pool preserve;
 - The then current proposed or final ESL/wetland amendments; and
 - The required MSCP conservation covenant of easement has been placed over the project's on-site (or any project-related off-site) vernal pool preserve.

It is noted that a San Diego Fairy Shrimp/Vernal Pool Restoration and Enhancement Plan (RECON 2014e) and Vernal Pool Management Plan (RECON 2014g) have been prepared for the project.

Mitigation measures indicated in Section 4.4.3 would mitigate UXO biological impacts within the development footprint and potential landslide remediation area. UXO clearance impacts outside of the project grading footprint would be mitigated through the following measure:

- BIO-23: Prior to issuance of a grading permit, either the applicant shall provide documentation to the City of San Diego that the USACE completed subsurface UXO clearance of the entire site, or a RAWP shall be prepared and implemented in accordance with requirements and procedures of the DTSC and San Diego, in consultation with the USACE.

Prior to project UXO clearance activities, a Draft RAWP shall be prepared by a qualified contractor and approved by San Diego, DTSC, the City and USACE.

Implementation of the plan may ultimately be completed by the applicant's qualified consultant or USACE. This plan shall minimize UXO clearance activity impacts to biological resources. The UXO removal plan shall include the following measures:

1. To avoid impacts to nesting birds protected by the MBTA, UXO activities should take place outside of the nesting season (February 15 through August 15). If UXO activities are to take place during the nesting season, a qualified biologist shall be present during vegetation clearing operations to search for and flag active nests so that they can be avoided.
 2. Prior to UXO activities, a survey shall be conducted by a qualified biologist to locate active raptor nests (if any). If active raptor nests are present, no UXO activities shall take place within 300 feet of active nesting sites during the nesting/breeding season (February 15 through August 15). The qualified biologist shall flag any active raptor nest located and demarcate the 300-foot buffer area.
 3. Prior to UXO activities, a survey shall be conducted by a qualified biologist to confirm the presence or absence of the California gnatcatcher and, if found to be present, to locate active nests (if any). If active nests are present, no UXO activity shall take place within 500 feet of active nesting sites during the nesting/breeding season (February 15 through August 15). The qualified biologist shall flag any active California gnatcatcher nest located and demarcate the 500-foot buffer area. Should active nests be abandoned prior to the end of the expected breeding season, UXO activities may continue.
 4. Subsurface UXO clearance and removal activities shall occur prior to the commencement of any other proposed restoration, creation, or translocation activities.
 5. A qualified biologist shall attend a pre-UXO clearance meeting with workers. If UXO clearance is to be completed during the bird breeding season, the qualified biologist shall review required nesting avoidance measures. The qualified biologist shall also go over available sensitive habitat (including jurisdictional habitat), plants and wildlife maps, and associated avoidance measures.
 6. A biologist shall be present during UXO clearance to direct UXO clearance workers to avoid vegetation and drainage alteration impacts within sensitive habitat and jurisdictional areas. If avoidance is not possible, clearance activities within jurisdictional areas shall be delayed until the jurisdictional agency is consulted and any required jurisdictional permitting is completed. The biological monitor shall submit a final monitoring report that identifies any significant biological impacts and associated mitigation. Mitigation shall be provided in compliance with the City's LCD Biological Guidelines.
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7. Should "detonation in place" or any other UXO removal activities result in disturbance to habitat on-site within the proposed open space, restoration shall be completed with in-kind vegetation, or, if in a proposed restoration area, in accordance with the applicable restoration plan (RECON 2014a, RECON 2014e, and RECON 2014f). If habitat impacted includes San Diego barrel cactus, variegated dudleya, San Diego golden star and/or Robinson's peppergrass, these plant species shall be replaced at a minimum 1:1 ratio.
8. Prior to time the detonation of an UXO is planned, sandbags filled with construction grade sand shall be utilized to tamp the detonation and minimize damage to nearby trees and shrubs. The preparation shall be thoroughly soaked with water and the immediate area watered well to minimize the possibility of secondary fires.

Cultural/Historical Resources

In order to mitigate the potential for uncovering significant impacts to subsurface archaeological resources, the following mitigation is required:

CUL-1:

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the ADD Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to MMC identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
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